

Sealed Plans > Shore Dr > Loaded 3/26/19

Revised Sheets Replaced 5/22/19 Comments & Responses
S2, 1B, 1C, 2, 2A, 4, 4B, 4C, 5, 6, 6A, 6C, 7B, 10

Revised pool notes - Sheet 12 - 9/6/19

Revised footer, stairs, gen & Elec Notes
Sheets 1A, 2A, 4, 4A, 7B, 12 10/1/19

Revised sheets 2, 2A & 4A window Added 1/9/2020

Revised sheets 2, 4B, 4C Transom Added 1/29/2020

GENERAL NOTES:

THE FOLLOWING TECHNICAL CODES SHALL APPLY:
2017 FLORIDA BUILDING CODE,
PLUMBING, MECHANICAL, FUEL GAS,
ENERGY EFFICIENCY, ACCESSIBILITY,
AND NATIONAL ELECTRICAL CODES
NEC 2014

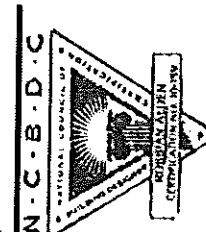
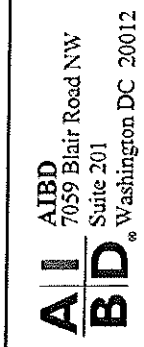
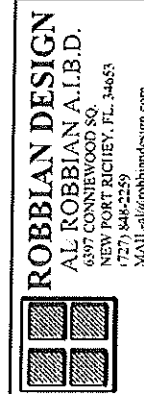
1. TANK TYPE WATER CLOSET VOLUME
1.6 GALLONS
2. WALL MOUNT WATER CLOSET VOLUME
3.5 GALLONS
3. WATER - FLOW RATE.
PUBLIC FACILITIES 0.5 G.P.M.
PRIVATE FACILITIES 2.2 G.P.M.
SHOWER HEADS 2.5 G.P.M.

VTR LOCATIONS ARE APPROXIMATE
AND MAY CHANGE DUE TO JOBSITE
CONDITIONS

THE FOLLOWING SHALL COMPLY
WITH THE 2017 FBC.

- ☐ PORCHES AND BALCONIES
- ☐ HANDRAILS
- ☐ GUARDRAILS
- ☐ STAIRS
- ☐ CHIMNEY & FIREPLACE
- ☐ EGRESS WINDOWS

4. ALL OPENINGS SHALL COMPLY WITH
2017 FBC WIND LOADS AS STATED
BELOW. ATTACHMENTS OF WINDOWS,
DOORS, SLIDING GLASS DOORS
AND O.H. GARAGE DOORS ARE DELEGATED
THE MANUFACTURER OF THESE ITEMS. THE
MANUFACTURER OF THESE ITEMS
SHALL SUBMIT ATTACHMENTS TO ENGINEER
OF RECORD FOR REVIEW PRIOR TO INSTALLATION.
SEE ATTACHED SPECIFICATION SHEETS FOR
MANUFACTURERS DESIGN CRITERIA AND
INSTALLATION METHODS FOR WINDOWS,
DOORS, SLIDING GLASS DOORS, OVERHEAD
GARAGE DOORS, AND ROOFING.
5. ALL DOORS INTERIOR & EXTERIOR ARE
8' 0" UNLESS OTHERWISE NOTED
ALL SHOWER ENCLOSURES TO BE
TEMPERED GLASS
6. ALL WINDOWS WITHIN 24" OF DOORS
(INTERIOR & EXTERIOR) AND WITHIN
18" OFF FLR TO BE TEMPERED GLASS.



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NOTICE TO SUBCONTRACTORS :

DUE TO SPACE LIMITATIONS IN THIS 11"X 17" PLAN
FORMAT, AND TO ELIMINATE CLUTTER AND TEXT
READABILITY ISSUES, SOME DETAILS AND NOTATIONS
MAY OR MAY NOT BE LOCATED ON THE SAME SHEETS
OR IN THE SAME LOCATIONS AS PROVIDED FOR BY
OTHER CONTRACTORS OR ARCHITECTS.
IT WOULD BE IN YOUR BEST INTREST TO REVIEW THESE
PLANS AND LOCATE THE APPROPRIATE INFORMATION
REQUIRED TO COMPLETE YOUR SPECIFIC PORTION OF
THE JOB BEFORE BEGINNING CONSTRUCTION.

NOTICE TO BUILDER

IT IS THE INTENT OF THIS DESIGNER THAT
THESE PLANS ARE ACCURATE AND ARE
CLEAR ENOUGH FOR THE LICENSED PROFESSIONAL
TO CONSTRUCT THIS PROJECT.
IN THE EVENT THAT SOMETHING IS UNCLEAR
OR NEEDS CLARIFICATION..STOP..AND CALL
THE DESIGNER LISTED IN THIS TITLE PAGE. IT
IS THE RESPONSIBILITY OF THE LICENSED
PROFESSIONAL THAT IS CONSTRUCTING THIS
PROJECT TO FULLY REVIEW THESE DOCUMENTS
BEFORE CONSTRUCTION BEGINS AND ANY AND
ALL CORRECTIONS, IF NEEDED, TO BE MADE
BEFORE ANY WORK IS DONE.

WINDOW INSTALLATION NOTES:

1. WINDOWS MUST BE FASTENED INTO STRUCTURAL MEMBERS
PER MFG'S. DETAIL REQUIREMENTS PER DESIGN CRITERIA
NOTED ON THESE DRAWINGS.
2. WINDOWS ARE IMPACT RESISTANT TYPE. NO STORM
SHUTTERS OR PANELS ARE REQUIRED.
3. ROOF, WALLS AND WINDOW FASTENINGS MUST BE
ENGINEERED AND SPECIFIED FOR CUMULATIVE INTERNAL
PRESSURE AND EXTERNAL NEGATIVE (SUCTION) PRESSURES
WHICH VARIES ACCORDING TO AREAS AS NOTED IN THE DESIGN
CRITERIA AS NOTED ON PAGE S4.

ZUENDT ENGINEERING
5405 WATER ST.
NEW PORT RICHEY, FL 34652
CA32834
727-848-2921
JOB # 6228

ALEXANDER S. ZUENDT
P.E. 82552

DEEB RESIDENCES
348 SHORE DRIVE
OLDSMAR, FL

PLAN DATE
11-08-18, 03-18-19
11-14-18
11-29-18
12-03-19

DEEB FAMILY
HOMES, LTD.
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NEW PORT RICHEY, FL 34655
727-376-0831

S

COVER SHEET

70
11

1. CODES AND REFERENCES

- 1.1 FLORIDA BUILDING CODE 2017 (FBC 2017 / &TH EDITION)
- 1.2 AMERICAN CONCRETE INSTITUTE OF STRUCTURAL CONCRETE (ACI301/318-II/315)
- 1.3 AMERICAN CONCRETE INSTITUTE OF MASONRY STRUCTURES (ACI 530-II/8)
ASCE5-08/ TMS 402-08 AND SPECIFICATIONS FOR MASONRY STRUCTURES
(ACI 530-11/8 / ASCE6-II/8 / TMS 602.1/8)
- 1.4 AMERICAN SOCIETY OF CIVIL ENGINEERS MINIMUM DESIGN
LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE7-10)
- 1.5 SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION
OF STRUCTURAL STEEL FOR BUILDINGS AISC380-II/5
- 1.6 DESIGN SPECIFICATION FOR LIGHT METAL PLATE CONNECTED WOOD
TRUSSES BY THE TRUSS PLATE INSTITUTE (TPI/ WTCA BCS1-II/6)
- 1.7 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NOS)
(ANSI/ AWC NDS-2012)
- 1.8 AMERICAN PLYWOOD ASSOCIATION DESIGN / CONSTRUCTION GUIDE. (APA / PDS1998)

2. DESIGN CRITERIA

- 2.1 ROOF LOADING
30 PSF @ 1.33 DURATION FACTOR DEAD
10 PSF FOR SHINGLE
15 PSF FOR TILE
- 2.2 FLOOR LOADING
LIVE 40 PSF @ 1.00 DURATION FACTOR
DEAD 15 PSF
- 2.3 BALCONY LOADING
LIVE 40 PSF FOR LESS THAN 100 SQUARE FT
LIVE 60 PSF FOR MORE THAN 100 SQUARE FT
DEAD 15 PSF
- 2.4 FOR FLOORING MATERIALS HEAVIER THAN 5 PSF, CONTACT
ENGINEER OF RECORD
- 2.5 WIND LOADING
SEE FBC 2017 TABLE FOR CRITERIA

3 SOILS

- 3.1 SOILS REPORT BY GROUND DOWN ENGINEERING,
RECOMMENDS PILE
SUPPORT; TREATED WOOD PILES 55' LONG, WITH MIN.
8" TIP, DRIVEN TO 23 TONS WORKING CAPACITY.
- 3.2 PILE DRIVING TO BE MONITORED BY PE
REPRESENTATIVE WITH A SEALED COMPLETION
REPORT
SHOWING FINAL DEPTH, FINAL BLOW COUNT AND SAFE
WORKING CAPACITY OF EACH PILE.

4. CONCRETE

- 4.1 OPERATION INSTALLATION AND PROCEDURE TO COMPLY WITH ACI STANDARDS
- 4.2 CONCRETE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS
U.N.O.
- 4.3 REINFORCEMENT REBARS ASTM A615 GRADE 640 U.N.O.
- 4.4 WELD WIRE FABRIC (WWF ASTM A185)
- 4.5 LAP SPLICES AND HOOKS AS PER PLAN.

5. MASONRY

- 5.1 MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS
OF THE SPECIFICATION FOR MASONRY STRUCTURES (ACI 530.11 ASCE & I TMS &02)
**PUBLISHED BY THE MASONRY SOCIETY, BOULDER, COLORADO: THE AMERICAN
CONCRETE INSTITUTE, FARMINGTON HILLS, MICHIGAN: AND THE AMERICAN SOCIETY
OF CIVIL ENGINEERS, RESTON, VIRGINIA: EXCEPT AS MODIFIED BY THE REQUIREMENTS
OF THESE CONTRACT DOCUMENTS.**
- 5.2 GENERAL SPECIFICATION FOR MASONRY STRUCTURES
- 5.2.1 TESTING OF FIELD MATERIALS FOR QUALITY CONTROL IS NOT REQUIRED BY
ENGINEER FOR THIS PROJECT.
- 5.2.2 COMPRESSIVE STRENGTH REQUIREMENT IS $f_m=1500$ PSI
- 5.2.3 DETERMINATION OF COMPRESSIVE STRENGTH IS THE ALLOWABLE STRESS METHOD
- 5.2.4 UNIT STRENGTH METHOD IS NOT APPLICABLE
- 5.2.5 QUALITY ASSURANCE IS NOT APPLICABLE
- 5.3 PRODUCTS
- 5.3.1 MORTAR MATERIALS SHALL BE TYPE M OR S GRAY MORTAR
- 5.3.2 MASONRY UNIT MATERIALS SHALL BE 1900 PSI MIN. CONCRETE MASONRY UNIT.
- 5.3.3 REINFORCEMENT, PRE-STRESSED TENDONS, AND METAL ACCESSORIES SHALL
BE 40 KSI REBAR (MIN.).

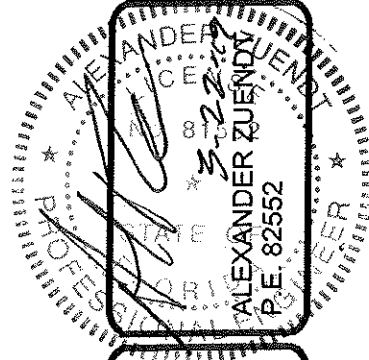
STRUCTURAL ENGINEER NOTES

S1

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PLAN DATE
11-08-18
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11-29-18
1-03-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.



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CA32834
727-848-2921
JOB # 6228

5.3.4 WELDED WIRE FABRIC TO BE INSTALLED AS SPECIFIED ON PLAN SET.
5.3.5 STAINLESS STEEL IS NOT APPLICABLE.
5.3.6 COATING FOR RE-BAR CORROSION PROTECTION IS NOT APPLICABLE.
5.3.7 CORROSION PROTECTION FOR TENDONS IS NOT APPLICABLE.
5.3.8 PRE-STRESSING ANCHORAGE, COUPLERS, AND END BLOCKS ARE NOT APPLICABLE.
5.3.9 JOINT FILLERS AS APPLICABLE.
5.3.10 LINTELS TO BE PRE CAST UNLESS NOTED OTHERWISE.
5.4 EXECUTION
5.4.1 PIPES AND CONDUITS AS APPLICABLE.
5.4.2 ACCESSORIES ARE NOT APPLICABLE.
5.4.3 EXPANSION AND CONTROL JOINTS AS PER PLAN.

6. WOOD FRAMING

&.1 DIMENSIONED LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.

6.2 ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.

&.3 FRAMING WALLS AND COLUMNS

5.3.1 MINIMUM OF 3 PLY STUD COLUMNS TO BE INSTALLED AT BEAM OR GIRDER TRUSS BEARING LOCATIONS. UNLESS NOTED OTHERWISE.

6..3.2 S.Y.P. #2 GRADE OR BETTER FASTEN PLYS TOGETHER USING 16d COMMON NAILS 8" O.C. AS EACH MEMBER IS APPLIED U.N.O.

6.3.3 4 PLY OR AND LARGER STUD COLUMNS SHALL BE FASTENED TOGETHER AS STATED ABOVE PLUS CS16 COIL STRAPPING WRAPPED AROUND COLUMN WITH A 4" END CAP AT 16" O.C. OR 112"111 THRU BOLTS @24"O.C.

5.3.4 ALL FRAMING LUMBER SHALL BE 112 SPRUCE / PINE I FIR OR EQUAL U.N.O.

5.3.5 INTERIOR LOAD BEARING (IF APPLICABLE) WALLS SPACED AT 16" OC AND LESS THAN 8'-G" IN HEIGHT SHALL BE STUD GRADE, SPRUCE I PINE I FIR OR EQUAL.

6..3.7 INTERIOR NON-LOAD BEARING WALLS SHALL BE UTILITY GRADE DR BETTER.

5.3.8 INSTALL BLOCKING IN ALL WALL STUDS OVER 8'-II" @ MID-HEIGHT, AND SHEATHING JOINTS. BRACE GABLE END WALLS AT 4'-II" O.C. ADDITIONAL INFORMATION AS PER PLAN.

6.4 ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED OR NATURAL DURABLE WOOD.

6.5 PRESSURE TREATED LUMBER SHALL BE IMPREGNATED WITH A CCA SALT TREATMENT IN ACCORDANCE WITH F.S. 11-W-71 AND BARE THE AMERICAN WOOD PRESERVES INSTITUTE EQUALITY MARK LP-2.

6.6 A.P.A. RATED SHEATHING EXTERIOR GRADE. ALL ROOF SHEATHING TO INSTALLED WITH PLY CLIPS (MAXIMUM 24" O/C). (SEE PLANS FOR SHEATHING THICKNESS.) ADDITIONAL SHEATHING ATTACHMENT AS PER PLAN

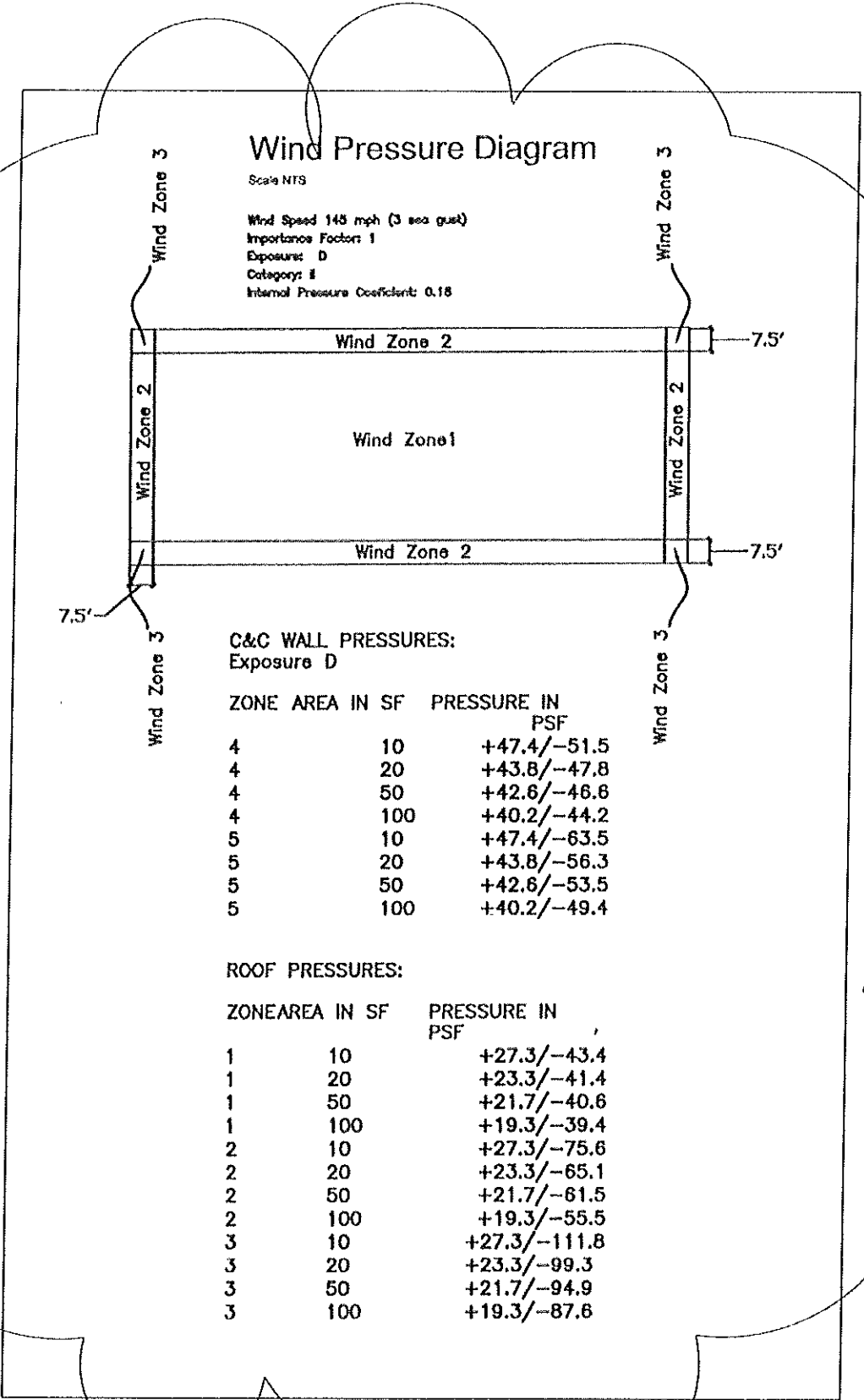
6. 7 ALL NAILING AND BOLING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS. ALL NAILS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.

8.8 ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG TIE CO., USP, KC METAL, OR EQUIVALENT. SUBMIT CUT SHEETS FOR ALL CONNECTION HARDWARE TO ENGINEER FOR APPROVAL. ALL NAIL HOLES SHALL BE FILLED OR AS PRESCRIBED BY THE MANUFACTURER.

8.9 BRACING: TEMPORARY BRACING OF THE ROOF SYSTEM SHALL BE INSTALLED PER HIB-91 RECOMMENDATIONS AND SHALL BE UTILIZED AS THE PERMANENT BRACING FOR THE ROOF SYSTEM U.N.O.

6.10 ALL WOOD FRAMING SHALL BE IN COMPLIANCE WITH THE LATEST NOS EDITION FOR WOOD CONSTRUCTION.

6.10 ALL HORIZONTAL WOOD FRAMING MEMBERS SHALL HAVE A MINIMUM DEFLECTION LIMIT OF L/360.



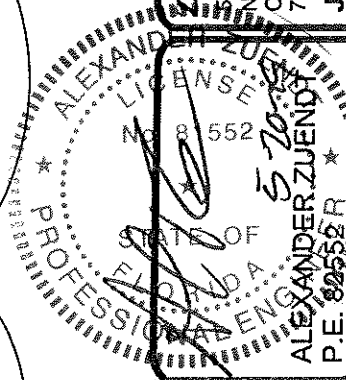
STRUCTURAL ENGINEER NOTES



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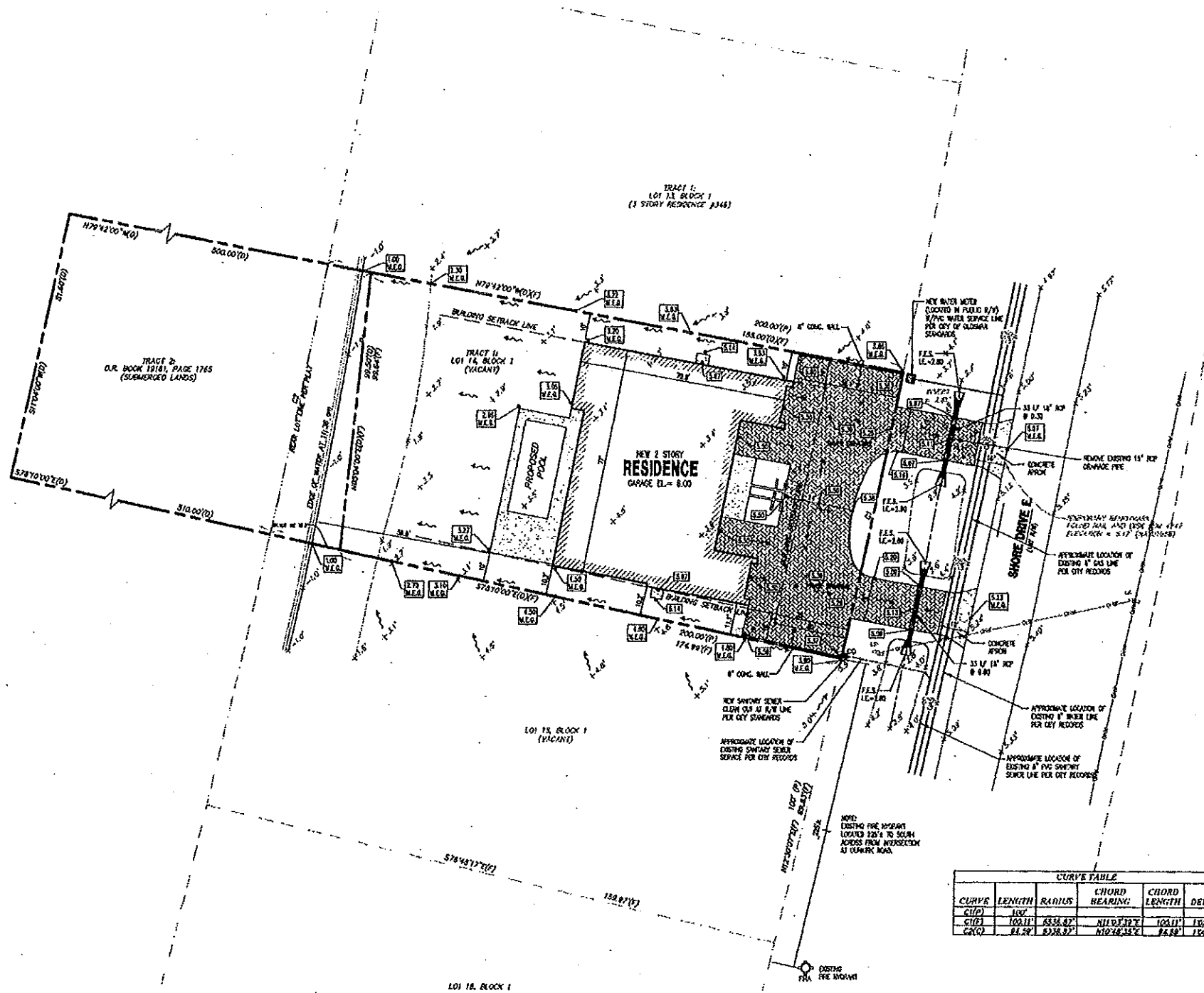
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SECTION 26, TOWNSHIP 28 S., RANGE 16 E
PINELLAS COUNTY, FLORIDA



NTS

LEGAL DESCRIPTION

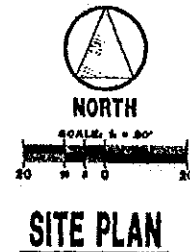
TRACT 1:
LOT 14, BLOCK 1, REVISED MAP OF THE COUNTRY CLUB ADDITION TO
GLOSSAAR, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN PLAT
BOOK 7, PAGE 42, OF THE PUBLIC RECORDS OF PINELLAS COUNTY,
FLORIDA; AND ALSO:

TRACT 2:
CONSIDERING AT THE NORTHEAST CORNER OF LOT 14, BLOCK 1, REVISED
MAP OF THE COUNTRY CLUB ADDITION TO OGDEN, ACCORDING TO THE
MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 42, OF THE
PUBLIC RECORDS OF PRAIRIE COUNTY, FLORIDA; THENCE NORTH 79
DEGREES 42' WEST 185 FEET ALONG THE NORTH BOUNDARY OF SAID LOT
14 TO THE INTERSECTION WITH THE HIGH WATER MARK OF OLD TAMPA
RAY, FOR A POINT OF BEGINNING, THENCE CONTINUING N 79 DEGREES
42' WEST 500 FEET IN LINE WITH THE S/D NORTH BOUNDARY PRODUCED;
THENCE S 11 DEGREES 04' WEST 81.6 FEET; THENCE S 78 DEGREES 10'
EAST 510 FEET IN LINE WITH THE EXTENSION OF THE SOUTH BOUNDARY
OF SAID LOT TO THE INTERSECTION WITH THE HIGH WATER MARK;
THENCE FOLLOWING THE HIGH WATER MARK NORTH 5 DEGREES 4' EAST
95.5 FEET, MORE OR LESS TO THE POINT OF BEGINNING, LYING IN
SECTION 26, TOWNSHIP 28 S. RANGE 16 EAST, PRAIRIE COUNTY,
FLORIDA.

SITE DATA:
ZONING: E-2
LAND USE: VACANT
SITE AREA = 17,568 SF (0.40 AC) (TRACT 1)
BLDG COVERAGE = 4,644 SF (26.4%)
TOT. IMP. AREA = 9,654 SF (54.9%)

NOTES:
1. ELEVATIONS SHOWN HEREON ARE 1988 DATUM.
2. APPARENT FLOOD HAZARD ZONE: "AE" (EL. 9)
COMMUNITY PANEL NO. 12103000930 EFFECTIVE DATE: 9/3/03

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	DELTA
C1(P)	100'				
C1(B)	100.11'	63.56.87"	N112°32'E	100.11'	102°05'
C2(C)	84.58'	5338.97"	N10°46.35"E	84.58'	100°54'

[illegible]

I HEREBY CERTIFY THAT
 THIS PLAN AND
 INFORMATION WAS
 FURNISHED BY ME OR
 UNDER MY DIRECTION
 AND THAT I
 AM A NATI. RESIDENT
 WHO EMPLOYED UNDER
 THE NAME OF THE STATE
 OF FLORIDA AS MENTIONED
 IN MY HAND AND SEAL.

Gary A. Boudette, PFL 722885

Ozona
Engineering, Inc.
P.O. Box 432
Ozona, Florida 34650-432
Phone (727) 785-3389 Fax (727) 785-3444
www.ozona-engineering.com

**FOR,
RICHARD J. DEEB
DEEB FAMILY HOMES, LTD
9400 RIVER CROSSING BLVD.
NEW PORT RICHEY, FL 34865**

PROJECT:
LOT 14 BLOCK 1
SHORE DRIVE EAST
OLDEMAR, FLORIDA

PROJECT :-
ORG. DATE:-
DRAWN BY: BH
SCALE: AS SHOWN
SHEET 1:

1

SITTE PLAN

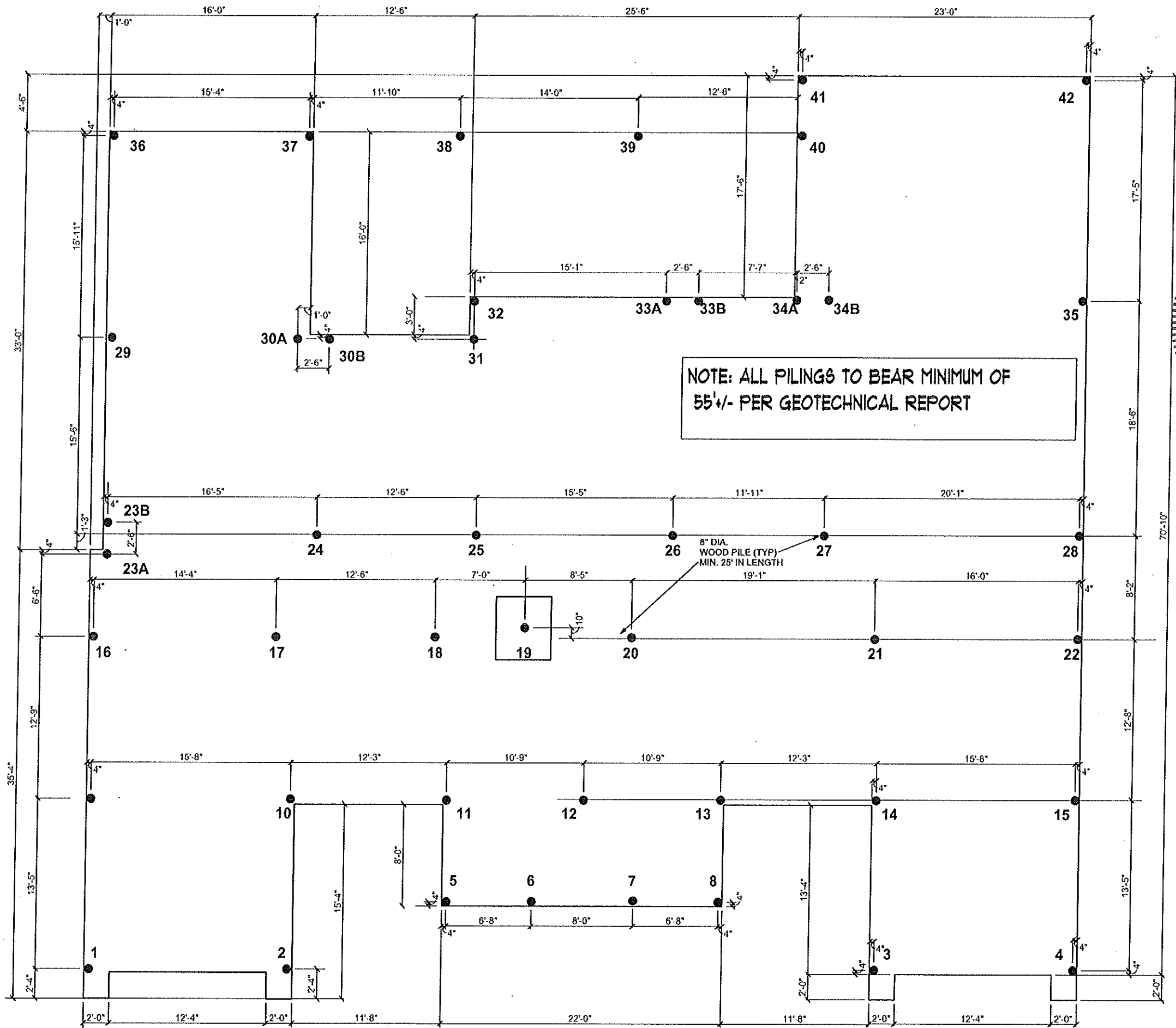
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727-376-6831

**DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.**

NOT PART OF P.E.
REVIEW

S3

PILE #	TOTAL KIPS
1	30
2	30
3	30
4	30
5	9
6	11
7	11
8	9
9	33
10	43
11	39
12	29
13	38
14	43
15	33
16	26
17	31
18	31
19	42
20	36
21	39
22	30
23	60 A+B
24	33
25	33
26	47
27	51
28	31
29	40
30	80 A+B
31	36
32	40
33	81 A+B
34	72 A+B
35	47
36	32
37	48
38	46
39	42
40	31
41	38
42	41



PILING LAYOUT PLAN

SCALE 1/8" = 1'-0"

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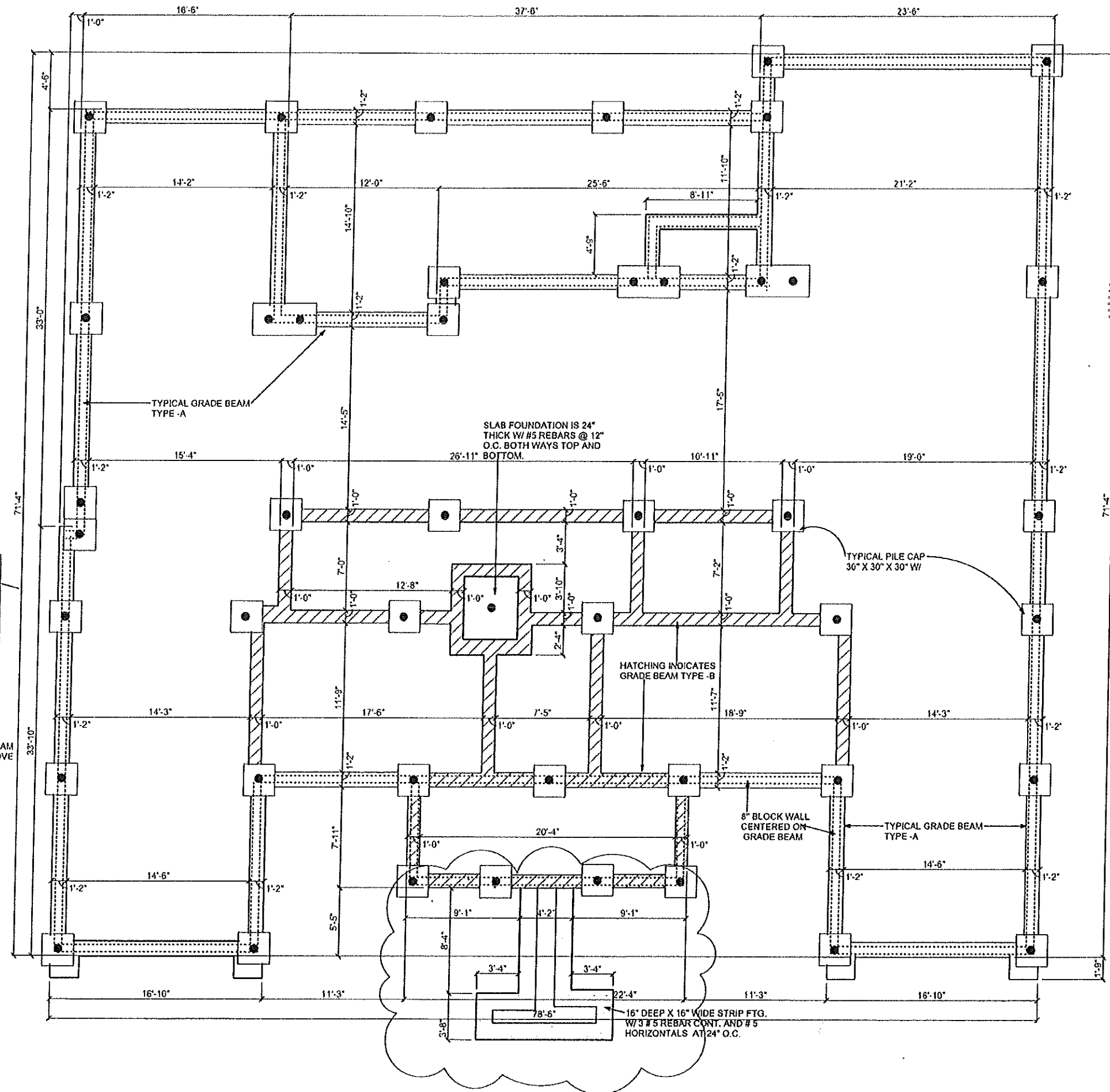
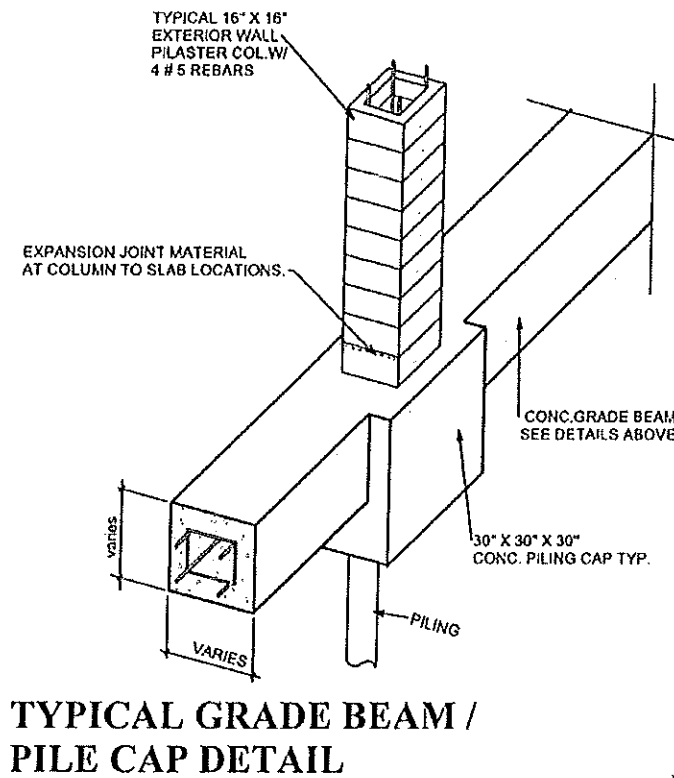
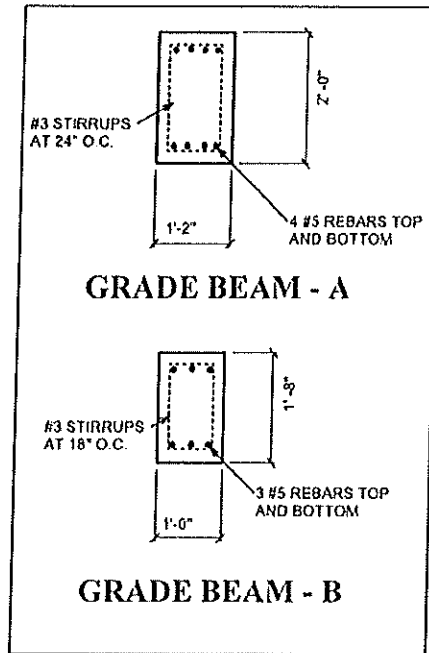
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3-22-19

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5405 WATER ST.
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1



GRADE BEAM PLAN

SCALE 1/8" = 1'-0"

1A

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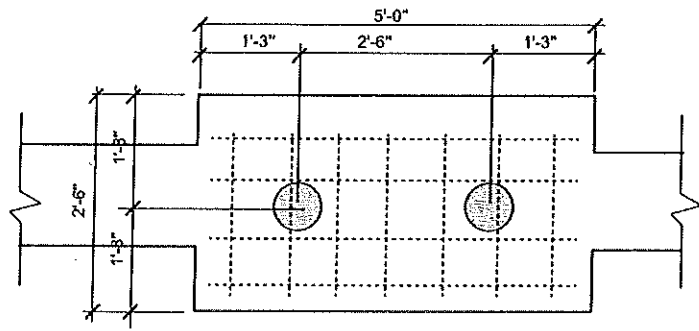
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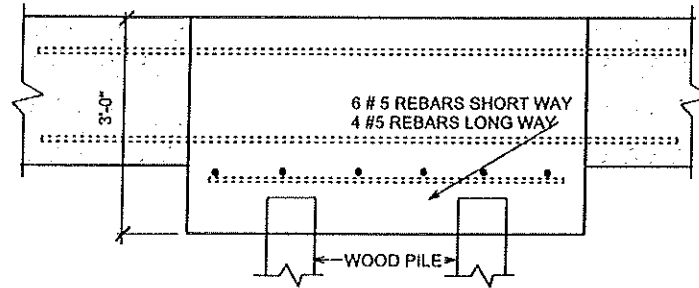
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ALEXANDER ZUENDT
PROFESSIONAL ENGINEER
FL. REG. NO. 182552
11-20-19

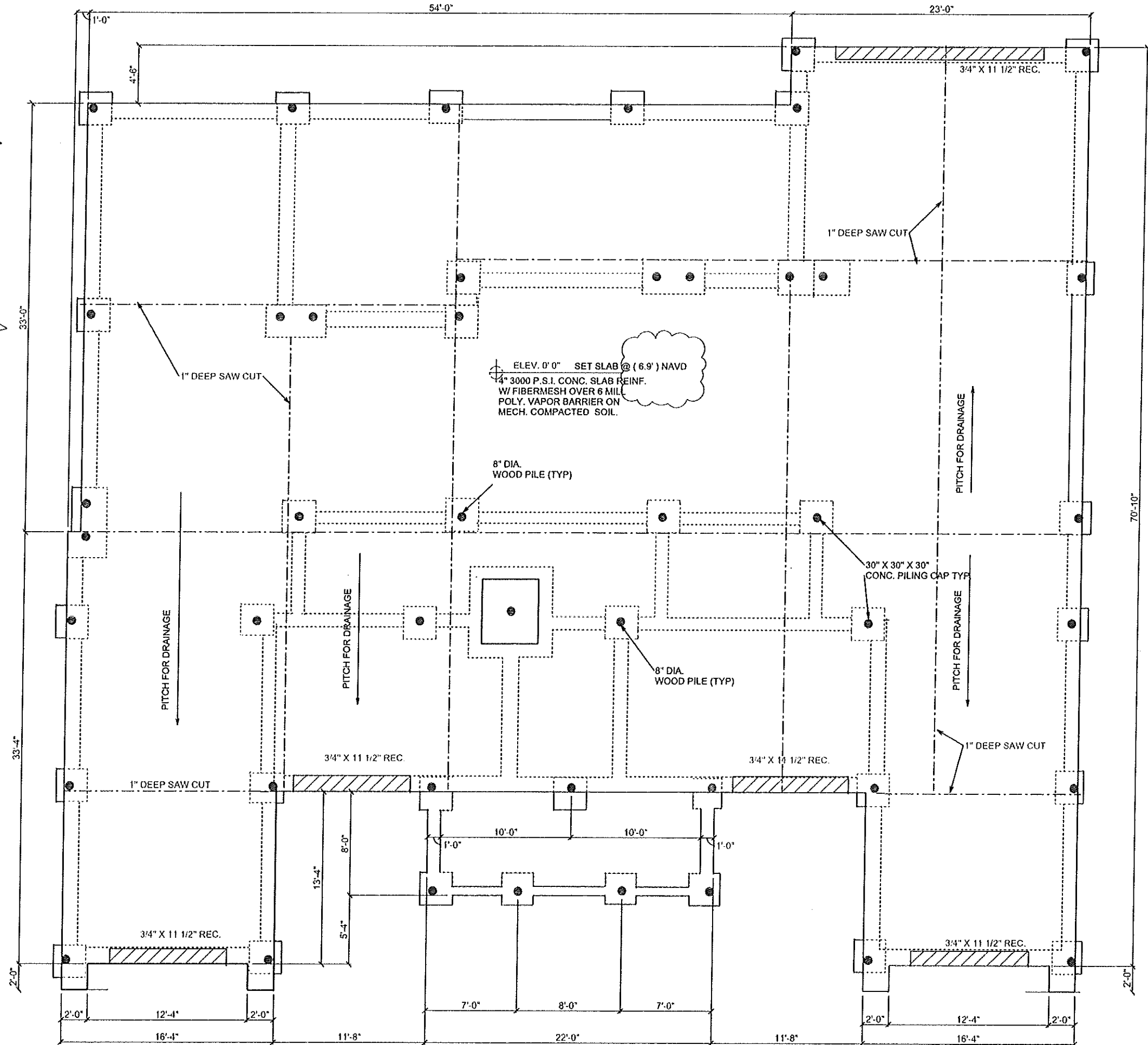
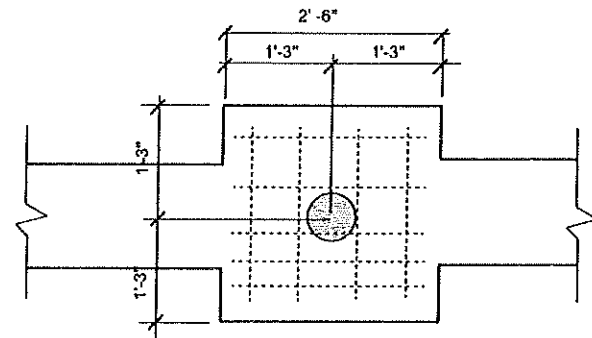
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DBL. PILING CAP DETAIL



PILING CAP DETAILS



SLAB PLAN

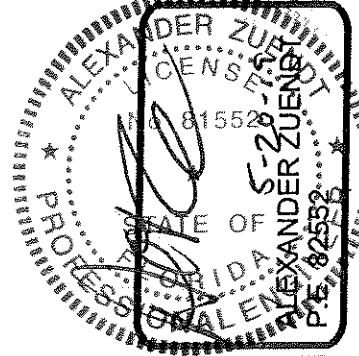
SCALE 1/8" = 1'-0"



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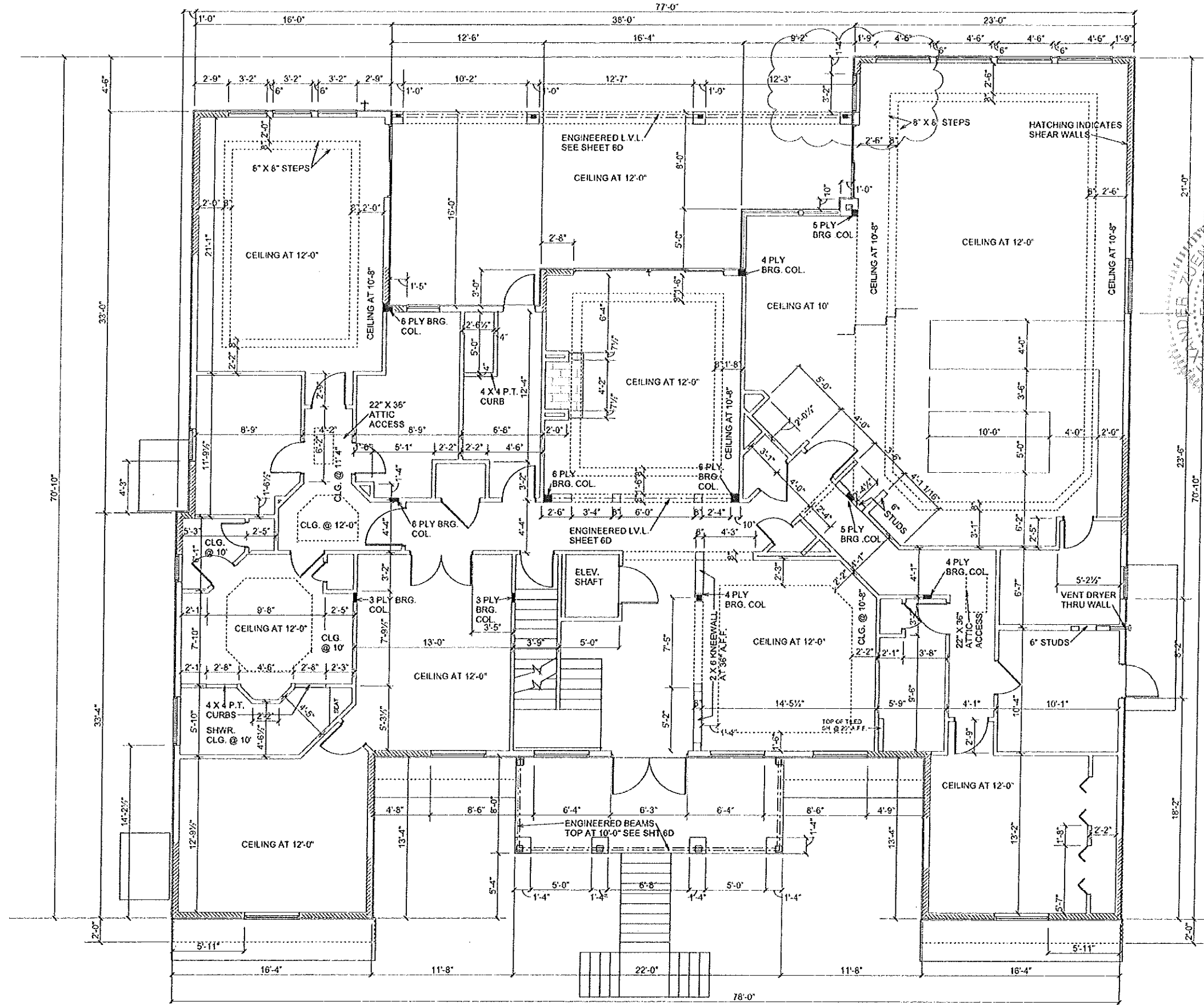
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NEW PORT RICHEY, FL. 34652
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727-848-2921
JOB # 6228



FIRST FLOOR DIMENSIONS SCALE 1/4" = 1'-0"

2A

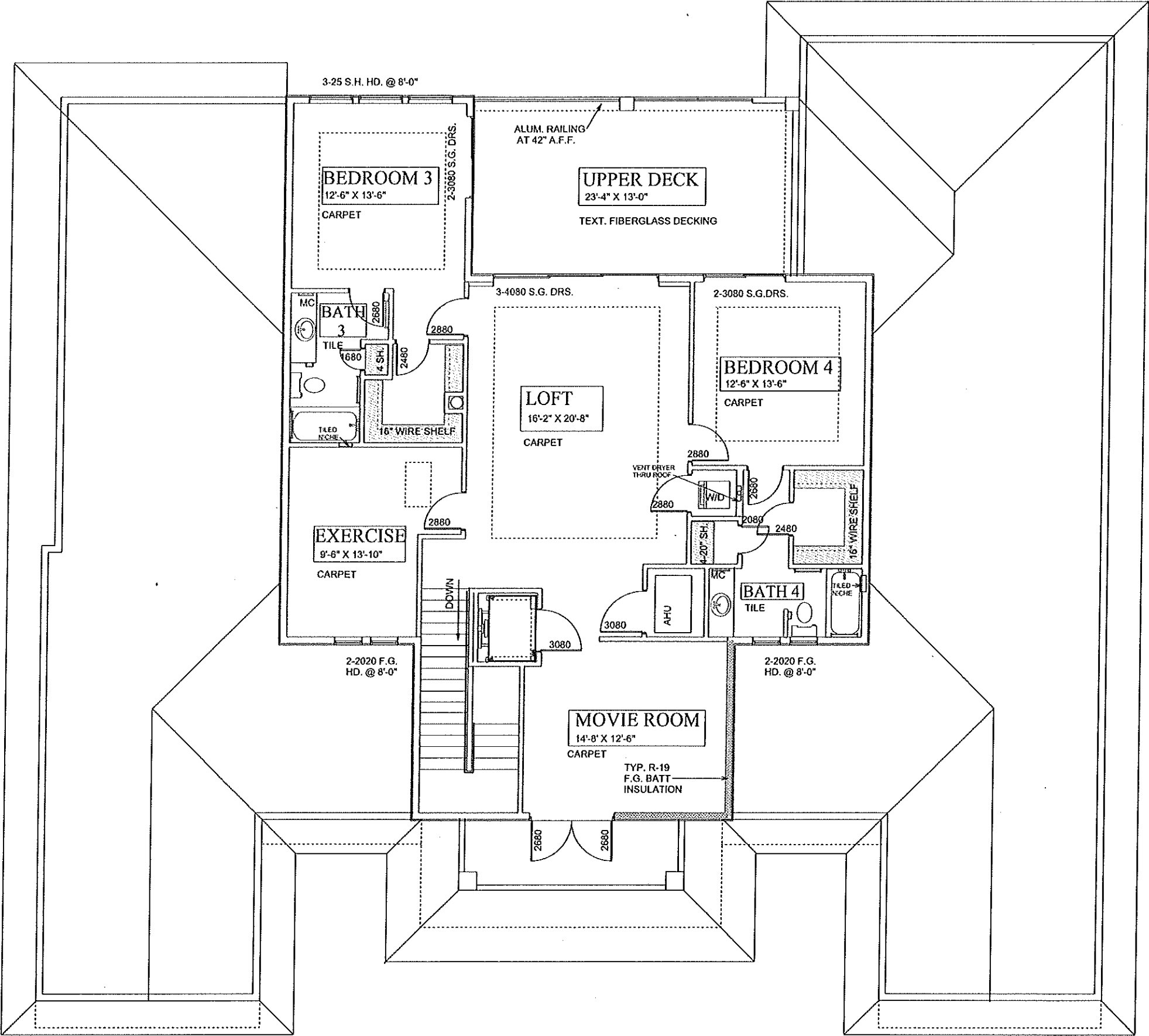
DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

PLAN DATE
11-14-18 03-18-19
11-29-18 05-03-19
11-03-19 08-05-19
12-26-19 09-17-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

STATE OF FLORIDA
ALEXANDER ZUENDT
P.E. 82552
NO. 81552

ZUENDT ENGINEERING
5405 WATER ST.
NEW PORT RICHEY, FL. 34652
CA32834
727-948-2921
JOB # 6228



SECOND FLOOR NOTES

SCALE 1/8" = 1'-0"

3

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

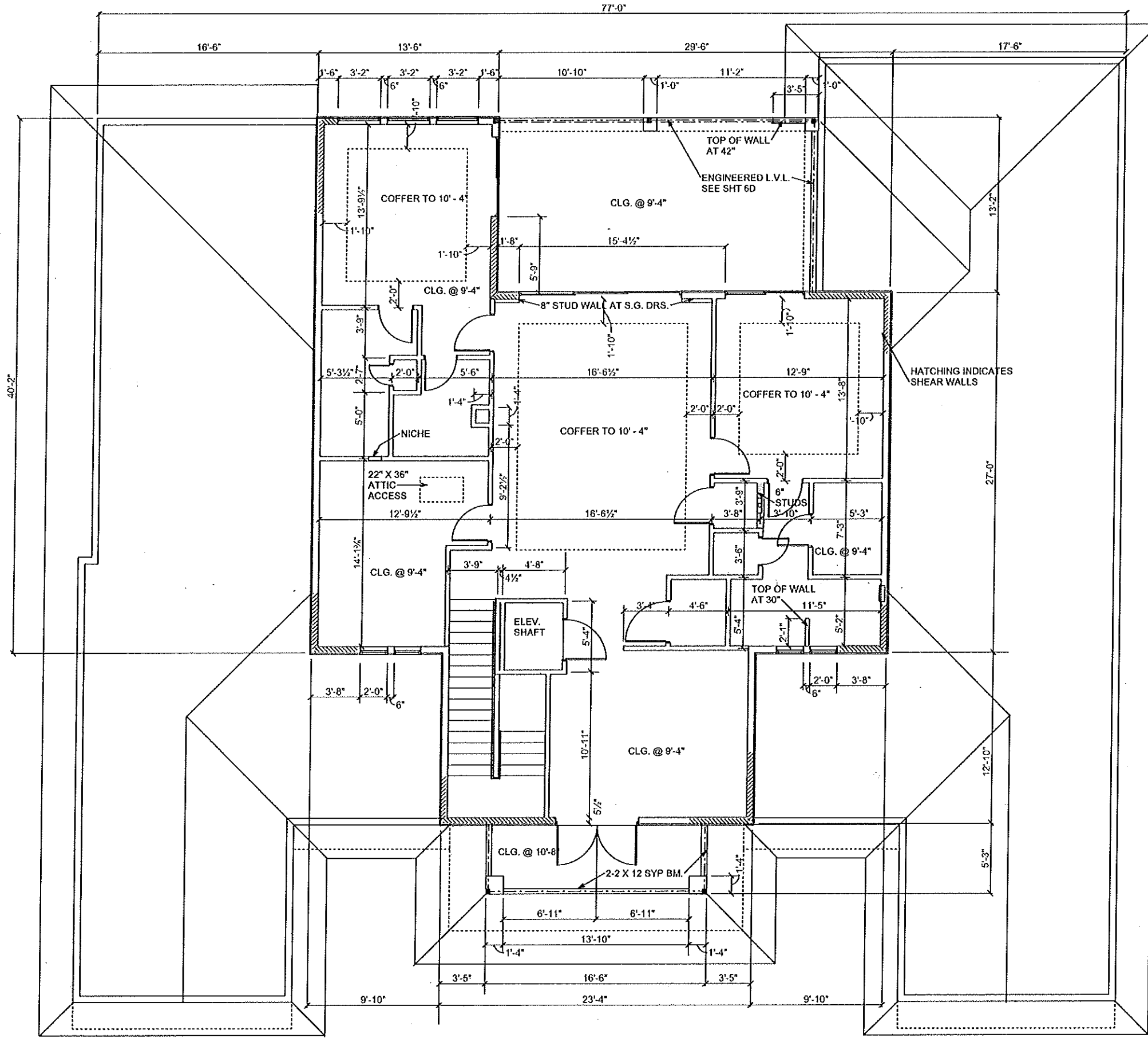
PLAN DATE
11-08-18
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

ALEXANDER ZUENDT ENGINEERING
1405 WATER ST.
NEW PORT RICHEY, FL. 34652
727-848-2921
JOB # 6228

3-22-19

ALEXANDER ZUENDT
P.E. 82552



SECOND FLOOR DIMENSIONS

SCALE 1/8" = 1'-0"

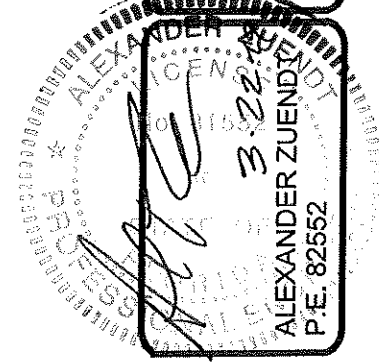
3A

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL 34655
727-376-6831

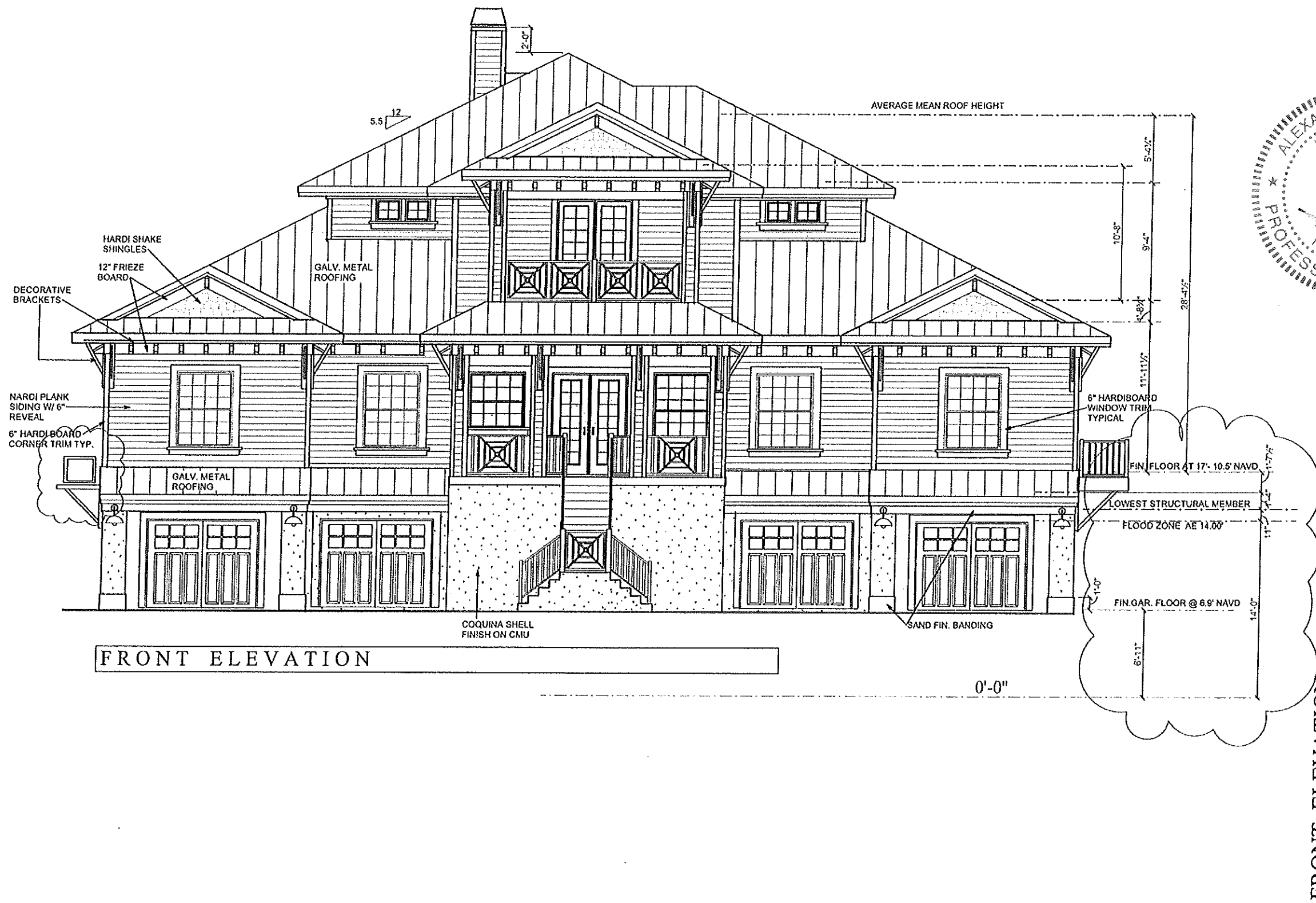
PLAN DATE

11-08-18	03-18-19
11-14-18	
11-29-18	
1-03-19	

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.



ALEXANDER ZUENDT ENGINEERING
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NEW PORT RICHEY, FL 34652
727-848-2921
P.E. 82552
JOB # 6228



FRONT ELEVATION

SCALE 1/8" = 1'-0"

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

PLAN DATE

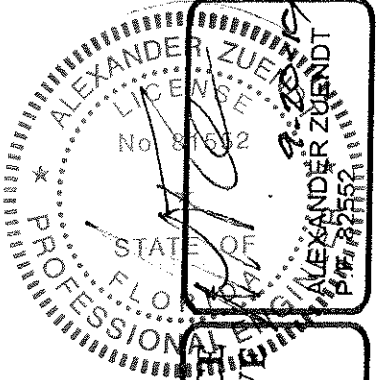
11-08-18	03-18-19
11-14-18	05-03-19
11-29-18	08-05-19
03-19	08-22-19
	09-17-19

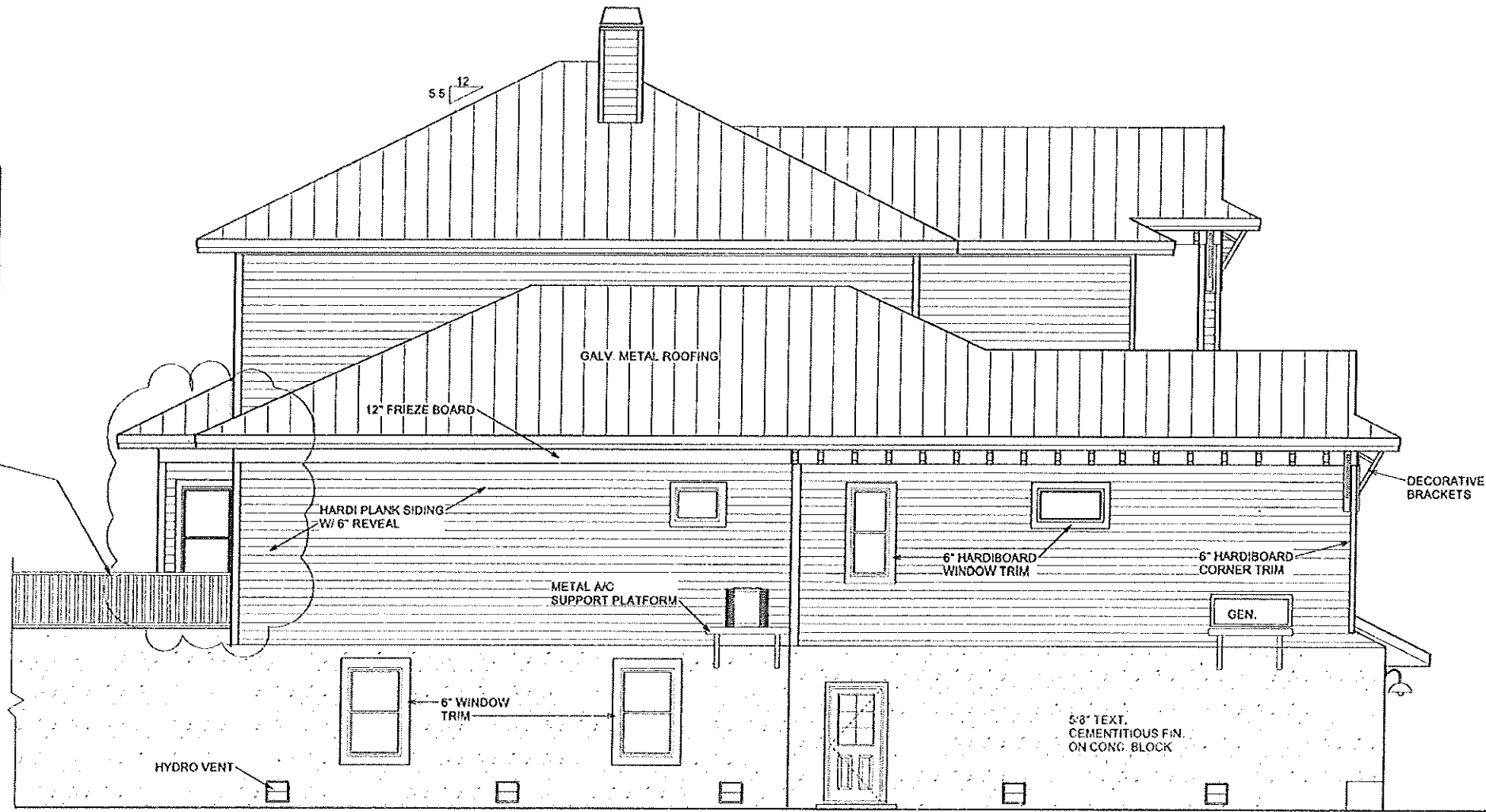
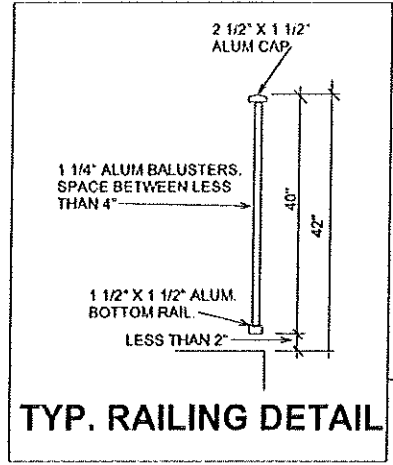
DEEB FAMILY
HOMES, LTD.

9400 RIVER CROSSING BLD.
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727-376-6831

4

ZUENDT ENGINEERING
5405 WATER ST.
NEW PORT RICHEY, FL. 34652
CA32834
727-848-2921
JOB # 6228





LEFT SIDE ELEVATION

LEFT SIDE ELEVATION

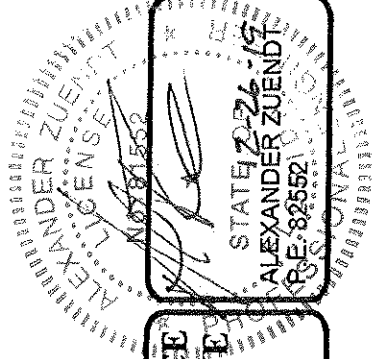
SCALE 1/4" = 1'-0"

4A

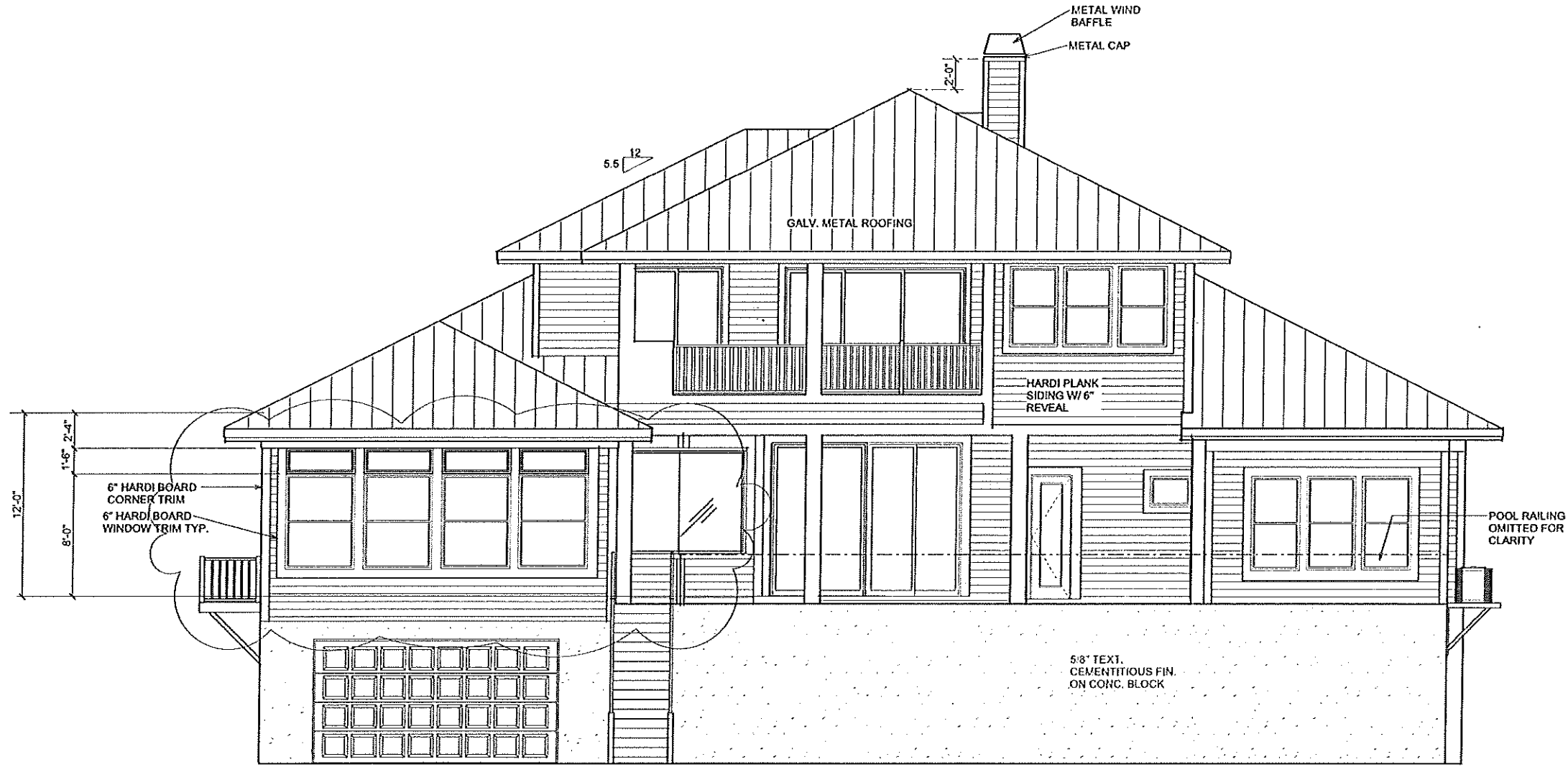
DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

PLAN DATE
11-14-18
11-29-18
11-03-19
12-26-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.



ZUENDT ENGINEERING
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NEW PORT RICHEY, FL. 34652
CA32834
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JOB # 6228



REAR ELEVATION

REAR ELEVATION

SCALE 1/4" = 1'-0"

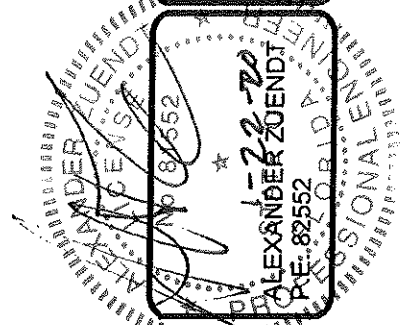
4B

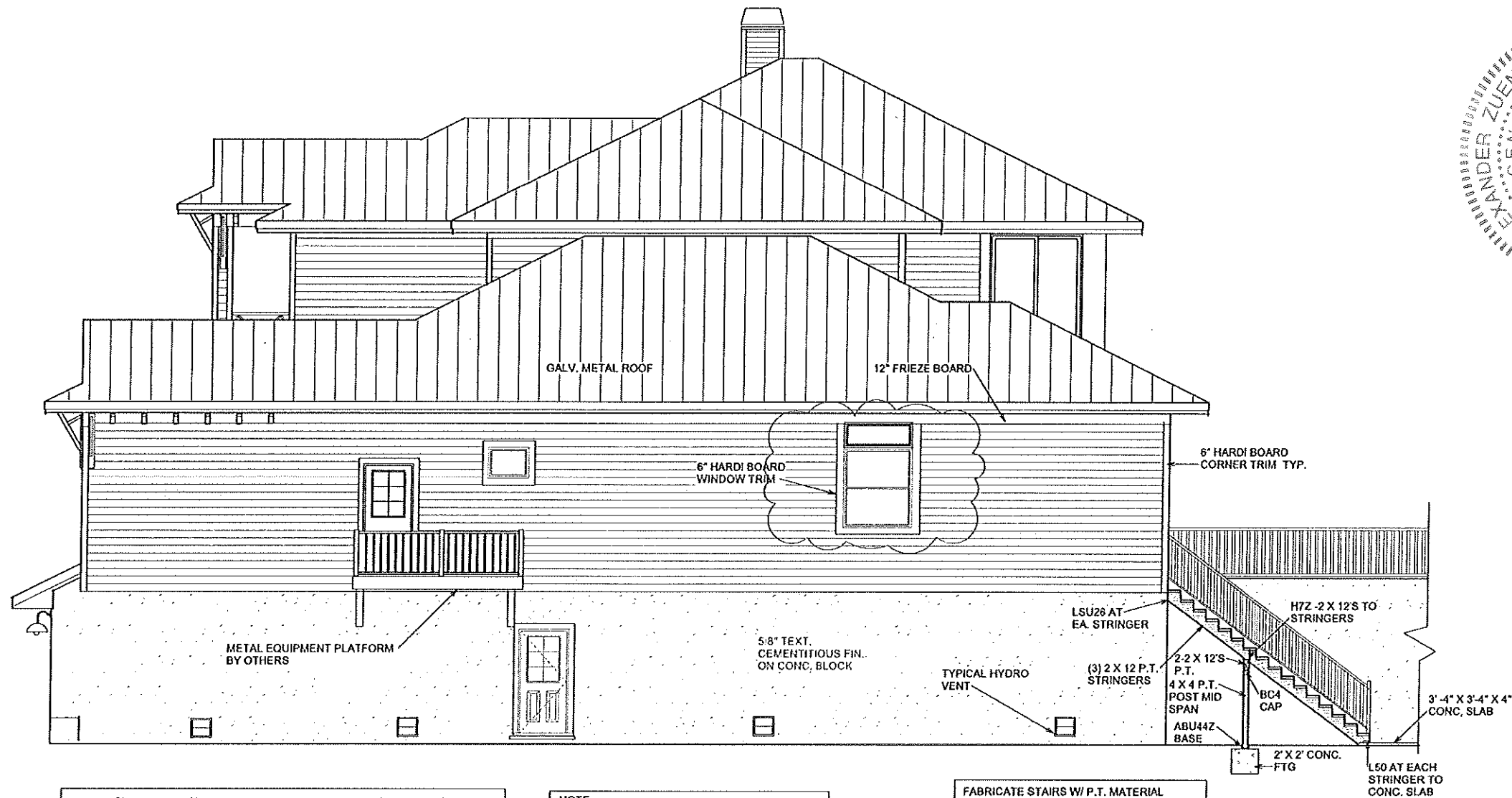
DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

PLAN DATE
11-29-18; 08-22-19
11-03-19; 09-17-19
03-18-19; 12-26-19
05-03-19; 01-20-20
08-05-19;

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

ZUENDT ENGINEERING
5405 WATER ST.
NEW PORT RICHEY, FL. 34652
CA32834
727-848-2921
JOB # 6228





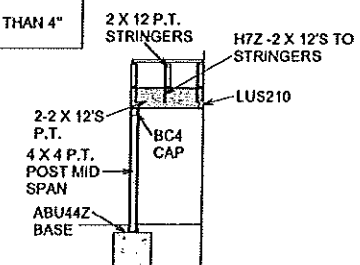
RIGHT SIDE ELEVATION

NOTE:
ALL METAL PLATFORMS TO BE CONNECTED
IN ACCORDANCE WITH DELEGATED ENGINEER'S
INSTRUCTIONS.

FLORIDA PRODUCT APPROVAL NUMBERS

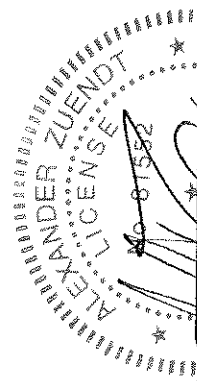
ABU44Z (FL10860)
BC4 (FL10860)
H7Z (FL10446)

FABRICATE STAIRS W/ P.T. MATERIAL
W/ 2 X 12 STRINGERS AND 2 X 10 P.T.
TREADS. RISERS AT 7 1/2"
TREADS AT 10" ALUM RAILING
BALUSTERS SPACING TO BE LESS THAN 4"



SCALE 1/4" = 1'-0"

RIGHT SIDE ELEVATION



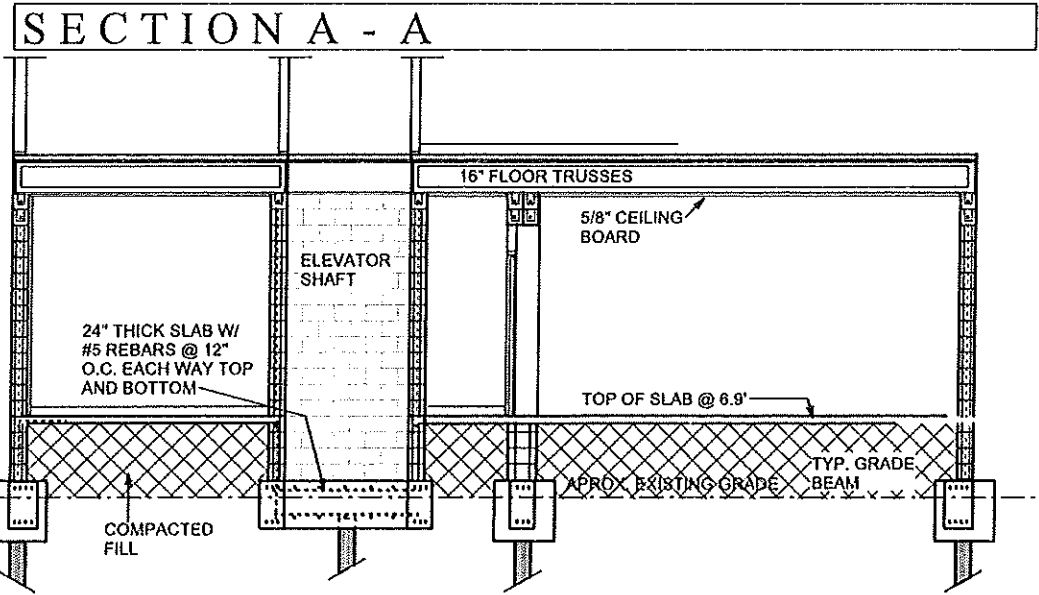
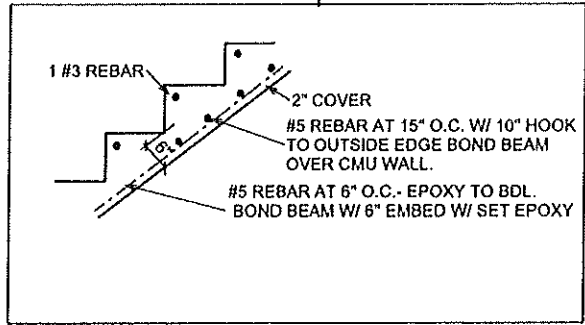
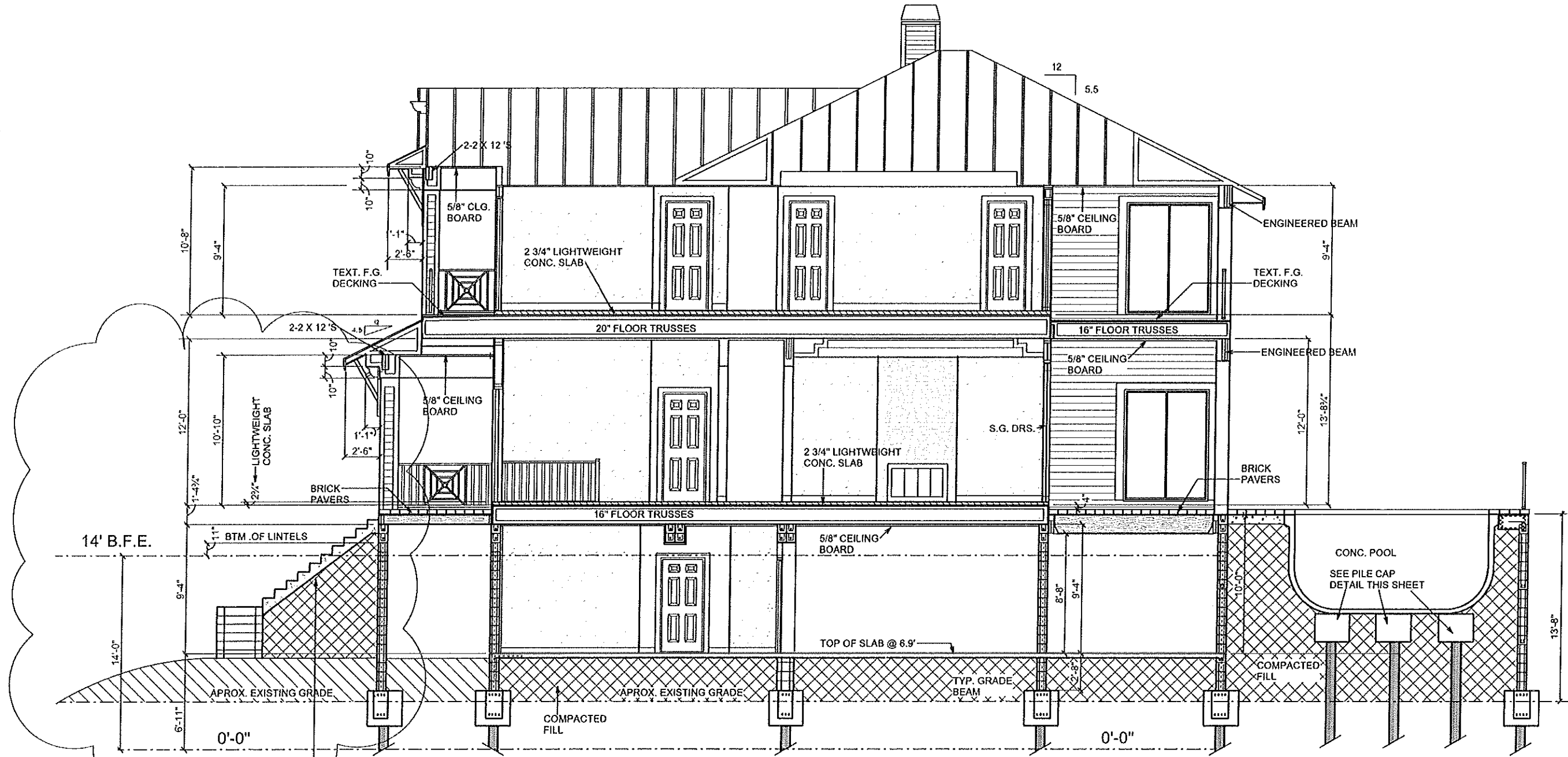
ZUENDT ENGINEERING
3405 WATER ST.
NEW PORT RICHEY, FL. 34652
CA32834
727-848-2921
JOB # 6228

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.
10-22-2024
ALEXANDER ZUENDT
P.E. 82552

PLAN DATE
11-29-18 08-22-19
11-03-19 09-17-19
03-18-19 12-26-19
05-03-19 01-20-20
08-03-19

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

4C



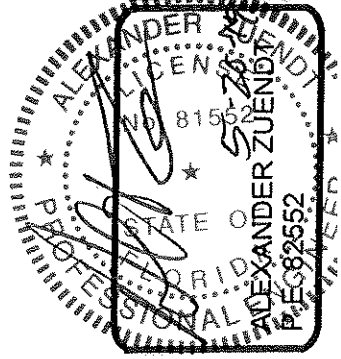
SECTION DETAILS

SCALE 1/8" = 1'-0"

PLAN DATE	DATE
11-08-18	03-18-19
11-14-18	05-03-19
11-29-18	
1-03-19	

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL 34655
727-376-6831

5



DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

ZUENDT ENGINEERING
5405 WATER ST.
NEW PORT RICHEY, FL. 34652
CA32834
727-848-2921
JOB # 6228

TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50 % AND NOT MORE THAN 80 % IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED PER SECT. R806.2

AREA ONE

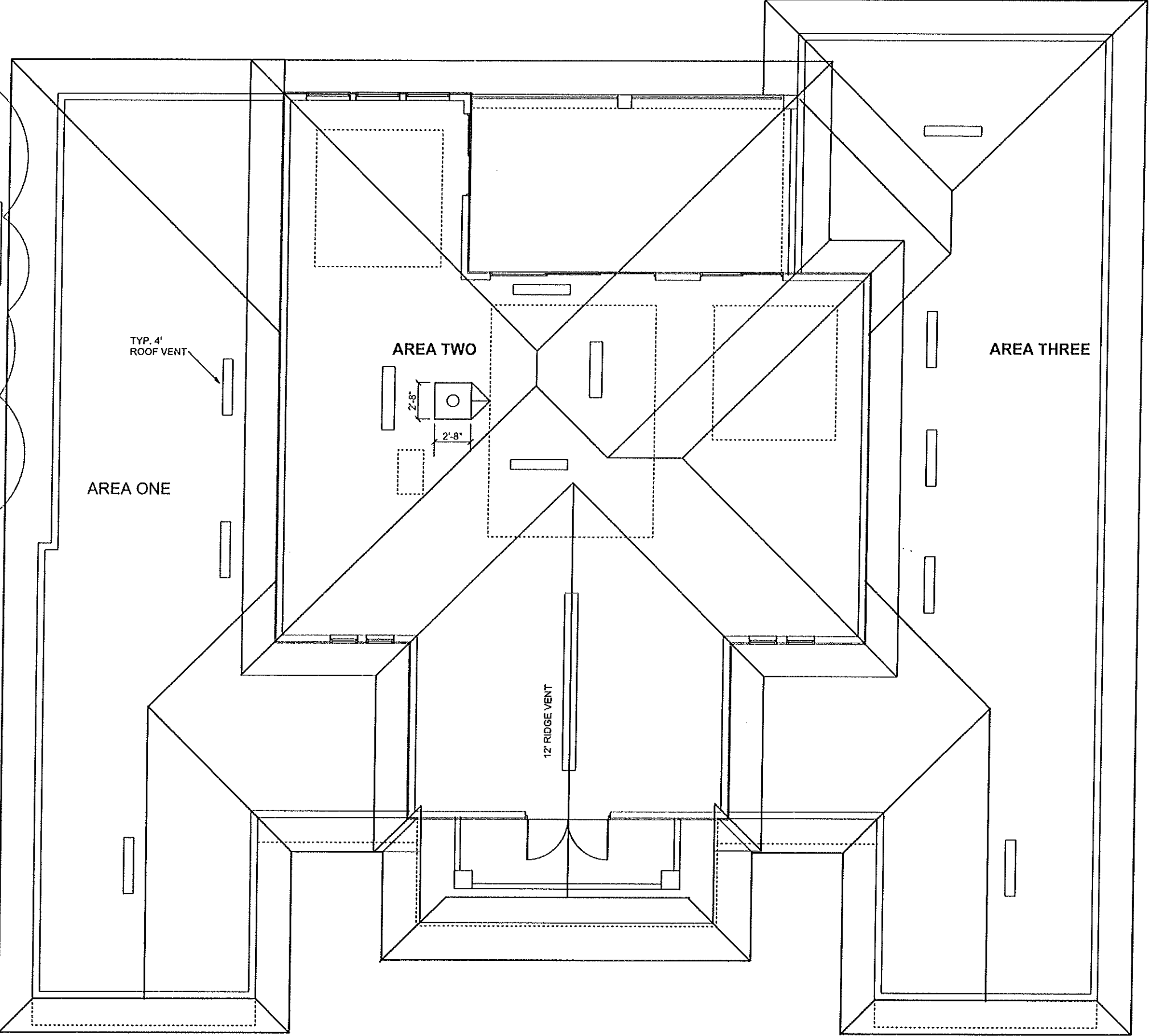
TOTAL AREA OF LIVING AREA TO BE VENTILATED = 1228 S.F.
1228 / 300 = 4.09 S.F. OR 589 SQUARE INCHES.
ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.
589.44 S.I./36 S.I. = 16 LINEAL FEET REQUIRED.
INSTALLATION FOR THIS ROOF IS 16' OF ROOF VENTS

AREA TWO

TOTAL AREA OF LIVING AREA TO BE VENTILATED = 2048 S.F.
2048 / 300 = 6.83 S.F. OR 983.52 SQUARE INCHES.
ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.
983.52 S.I./36 S.I. = 27.32 LINEAL FEET REQUIRED.
INSTALLATION FOR THIS ROOF IS 28' OF ROOF VENTS

AREA THREE

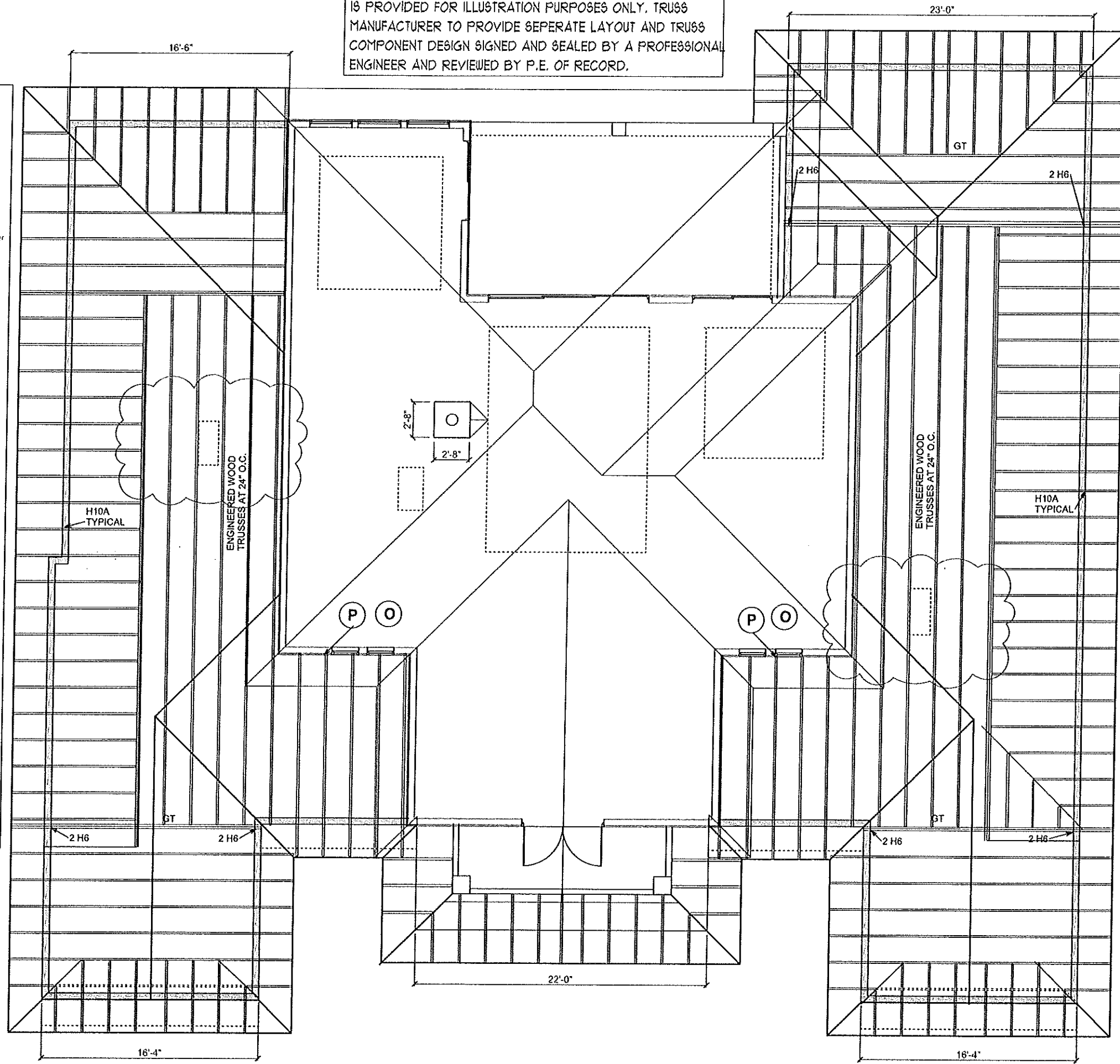
TOTAL AREA OF LIVING AREA TO BE VENTILATED = 1440 S.F.
1440 / 300 = 4.8 S.F. OR 691.2 SQUARE INCHES.
ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.
691.2 S.I./36 S.I. = 19.2 LINEAL FEET REQUIRED.
INSTALLATION FOR THIS ROOF IS 20' OF ROOF VENTS



ROOF PLAN SCALE 1/8" = 1'-0"

IMPORTANT NOTE:

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPERATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

**Connection Notes**

- A. 5 Stud corner column with 3 CS16 to 2nd floor 5.25" x 5.25" Versa Lam column below
B. 5 stud corner column with 3 CS16 to floor girder truss below
C. 5 Stud corner column with 4 CS14 to beam below
D. 3 Ply 1.75"x 12" LVL header beam
a. 3 jacks, 2 king studs each end
b. 2 CS16 each face, each stud pack to LVL Header
c. 2 CS14 each face, each stud pack to beam below
E. 3 Stud corner with 5.25" sq versa lam column. Versa lam column beneath roof girder truss
a. VGT with concealed flange to HTTS - GT to versa lam
b. HTTS to HTTS versa lam column to LVL beam below with 5.25" x 7" versa lam 2nd floor with 2 HTTS to cmu
F. 4 Stud corner with 5.25" sq versa lam column. Versa lam column beneath side to side roof girder truss, stud pack beneath front to rear girder
a. Side to side triple girder:
i. VGT with concealed flange to HTTS - GT to versa lam
ii. HTTS to HTTS versa lam column to 5.25" x 7" versa lam column 2nd floor with 2 HTTS to cmu
b. Front to rear girder
i. LGT2 girder to stud pack
ii. HTTS stud pack to 5.25" versa lam column 2nd floor with HTTS to cmu
G. 5 stud corner column with 3 CS16 to 5 stud corner column below with HTTS to cmu
H. 5 Stud corner column with 3 CS16 to beam below
I. 5 stud corner column with 3 CS16 to 5.25" column below with HTTS to cmu
J. 3 stud column with LGT2 to GT and 2 CS16 to 3 stud column below with 2 CS16 to LVL beam
K. 6x6 PT column with 2 CS16 each beam to each column (4 per column) with HTTS to HTTS on 5.25" columns below and HTTS to cmu
L. 5 Stud corner column with MSTCM60 to cmu
M. 5.25" versa lam column with 2 LGT2 to column and HTTS to cmu below
N. 3 Ply 1.75"x 12" LVL upset header beam
a. 2 LGT2 GT to LVL header
b. 3 jacks, 2 king studs each end
c. 2 CS16 each face, each stud pack to LVL Header
d. HTTS to cmu below each stud pack
O. LUS26 bottom chord roof truss to wall, provide 2x6 top chord blocking between trusses for roof sheathing attachment with (2) 3/4" x 3.5" sds screws at each stud crossing and 3 10d toe nails to truss and 10d nails at 3" o.c. sheathing attachment to ledger
P. 2x6 cont. sheathing ledger with (2) 3/4" x 3.5" sds screws at each stud crossing and 10d nails at 3" o.c. sheathing attachment to ledger
Q. MG13 with (2) 5/8" ATR, 12" embed, Epoxy
R. 3 pt bearing 2 ply 1.75"x16" LVL beam
a. At elevator and stair column - 5.25"sq versa lam columns with (2) HTS16 to beam and HTTS to cmu
b. At far right column - 5.25"x7" versa lam column per item E above
S. 2 ply 1.75"x16" LVL header beams at openings
a. 2 jacks, 1 king stud packs
b. HTS16 stud pack to header
c. CS16 to beam below
T. 3 Ply 1.75"x 24" LVL header beam
a. 5.25"x7" versa lam jack column each end
b. 2 CS14 each face, each column to LVL Header
c. HTTS each column to cmu
U. 5.25" x 7" versa lam column
a. 2 CS14 each face, each column to LVL Header
b. HTTS each column to cmu
V. 5.25" sq versa lam column
a. 2 CS14 each face, each column to LVL Beam
b. HTTS each column to cmu
W. 5.25" sq versa lam column
a. 2 CS14 each face, each column to LVL Beam below
b. 2 CS14 each face, each column to roof girder truss above
X.

FIRST FLOOR ROOF TRUSSES

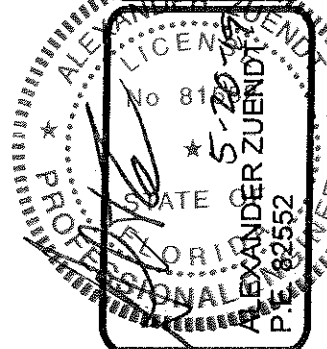
SCALE 1/8" = 1'-0"

6A

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

PLAN DATE
11-08-18 03-18-19
11-14-18 05-03-19
11-29-18
1-03-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

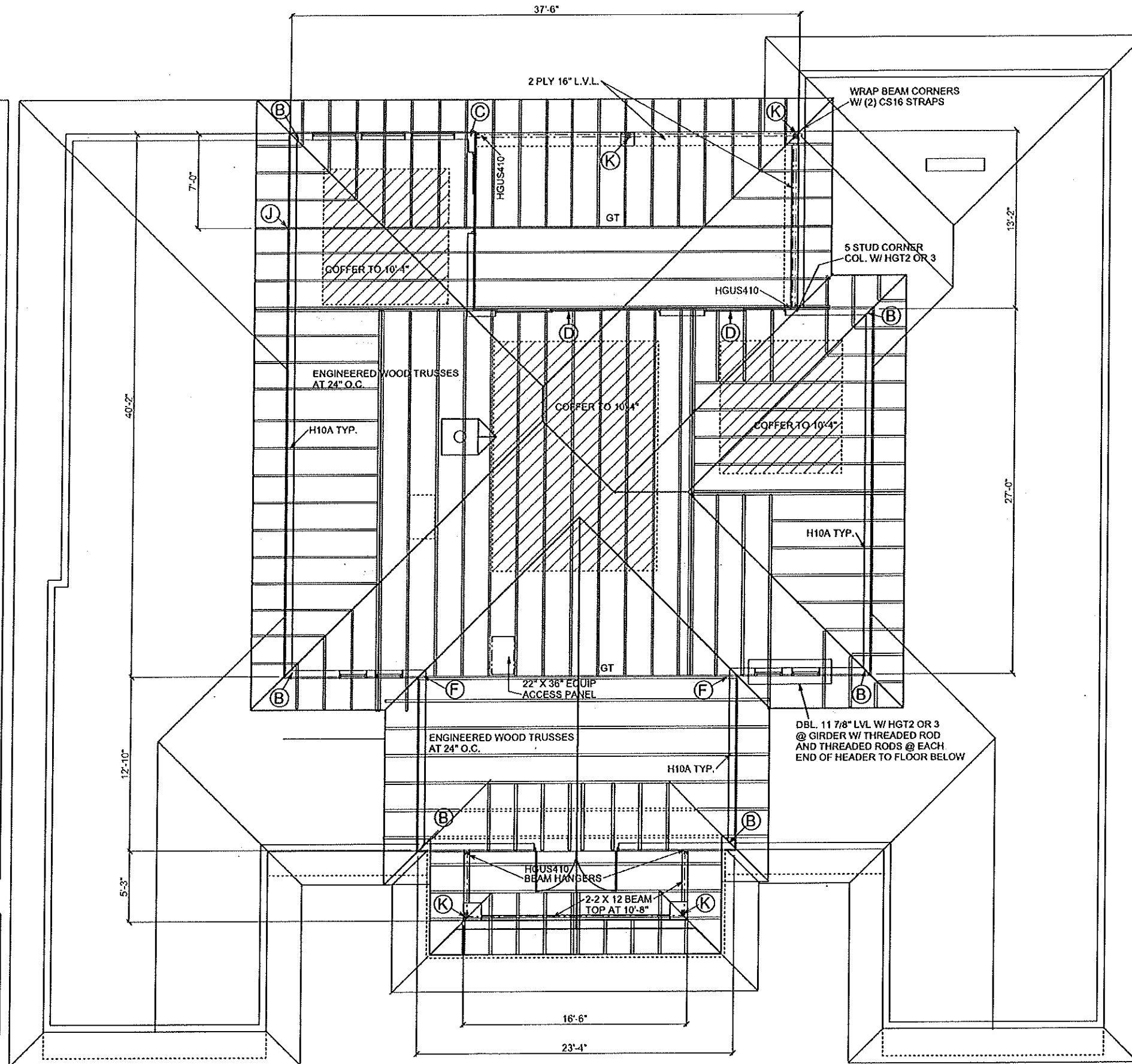


ZUENDT ENGINEERING
2405 WATER ST.
NEW PORT RICHEY, FL. 34652
CA32834
27-848-2921
JOB # 6228
ALEXANDER ZUENDT
P.E. 82552

- Connection Notes
- A. 5 Stud corner column with 3 CS16 to 2nd floor 5.25" x 5.25" Versa Lam column below
 - B. 5 stud corner column with 3 CS16 to floor girder truss below
 - C. 5 Stud corner column with 4 CS14 to beam below
 - D. 3 Ply 1.75"x12" LVL header beam
 - a. 3 jacks, 2 king studs each end
 - b. 2 CS16 each face, each stud pack to LVL Header
 - c. 2 CS14 each face, each stud pack to beam below
 - E. 3 Stud corner with 5.25" sq versa lam column. Versa lam column beneath roof girder truss
 - a. VGT with concealed flange to HTTS - GT to versa lam
 - b. HTTS to HTTS versa lam column to LVL beam below with 5.25" x 7" versa lam 2nd floor with 2 HTTS to cmu
 - F. 4 Stud corner with 5.25" sq versa lam column. Versa lam column beneath side to side roof girder truss, stud pack beneath front to rear girder
 - a. Side to side triple girder:
 - i. VGT with concealed flange to HTTS - GT to versa lam
 - ii. HTTS to HTTS versa lam column to 5.25" x 7" versa lam column 2nd floor with 2 HTTS to cmu
 - b. Front to rear girder:
 - i. LGT2 girder to stud pack
 - ii. HTTS stud pack to 5.25" versa lam column 2nd floor with HTTS to cmu
 - G. 5 stud corner column with 3 CS16 to 5 stud corner column below with HTTS to cmu
 - H. 5 Stud corner column with 3 CS16 to beam below
 - I. 5 stud corner column with 3 CS16 to 5.25" column below with HTTS to cmu
 - J. 3 stud column with LGT2 to GT and 2 CS16 to 3 stud column below with 2 CS16 to LVL beam
 - K. 6x6 PT column with 2 CS16 each beam to each column (4 per column) with HTTS to HTTS on 5.25" columns below and HTTS to cmu
 - L. 5 Stud corner column with MSTCM60 to cmu
 - M. 5.25" versa lam column with 2 LGT2 to column and HTTS to cmu below
 - N. 3 Ply 1.75"x12" LVL upset header beam
 - a. 2 LGT2 GT to LVL header
 - b. 3 jacks, 2 king studs each end
 - c. 2 CS16 each face, each stud pack to LVL Header
 - d. HTTS to cmu below each stud pack
 - O. LUS26 bottom chord roof truss to wall, provide 2x6 top chord blocking between trusses for roof sheathing attachment with (2) 1/4" x 3.5" sds screws at each stud crossing and 3 10d toe nails to truss and 10d nails at 3" o.c sheathing attachment to ledger
 - P. 2x6 cont. sheathing ledger with (2) 1/4" x 3.5" sds screws at each stud crossing and 10d nails at 3" o.c sheathing attachment to ledger
 - Q. MGT3 with (2) 5/8" ATR, 12" embed, Epoxy
 - R. 3 pt bearing 2 ply 1.75"x16" LVL beam
 - a. At elevator and stair column - 5.25"sq versa lam columns with (2) HTTS16 to beam and HTTS to cmu
 - b. At far right column - 5.25"x7" versa lam column per item E above
 - S. 2 ply 1.75"x16" LVL header beams at openings
 - a. 2 jacks, 1 king stud packs
 - b. HTTS16 stud pack to header
 - c. CS16 to beam below
 - T. 3 Ply 1.75"x24" LVL header beam
 - a. 5.25"x7" versa lam jack column each end
 - b. 2 CS14 each face, each column to LVL Header
 - c. HTTS each column to cmu
 - U. 5.25" x 7" versa lam column
 - a. 2 CS14 each face, each column to LVL Header
 - b. HTTS each column to cmu
 - V. 5.25" sq versa lam column
 - a. 2 CS14 each face, each column to LVL Beam
 - b. HTTS each column to cmu
 - W. 5.25" sq versa lam column
 - a. 2 CS14 each face, each column to LVL Beam below
 - b. 2 CS14 each face, each column to roof girder truss above
 - X.

IMPORTANT NOTE:

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SECOND FLOOR ROOF TRUSSES

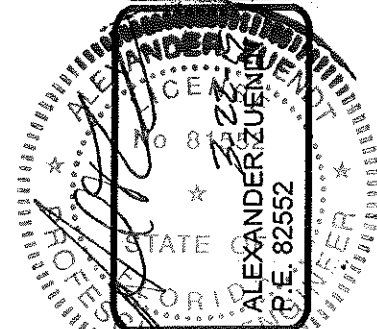
SCALE 1/8" = 1'-0"

6B

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL 34655
727-376-6831

PLAN DATE
11-08-18 10:03-18-19
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

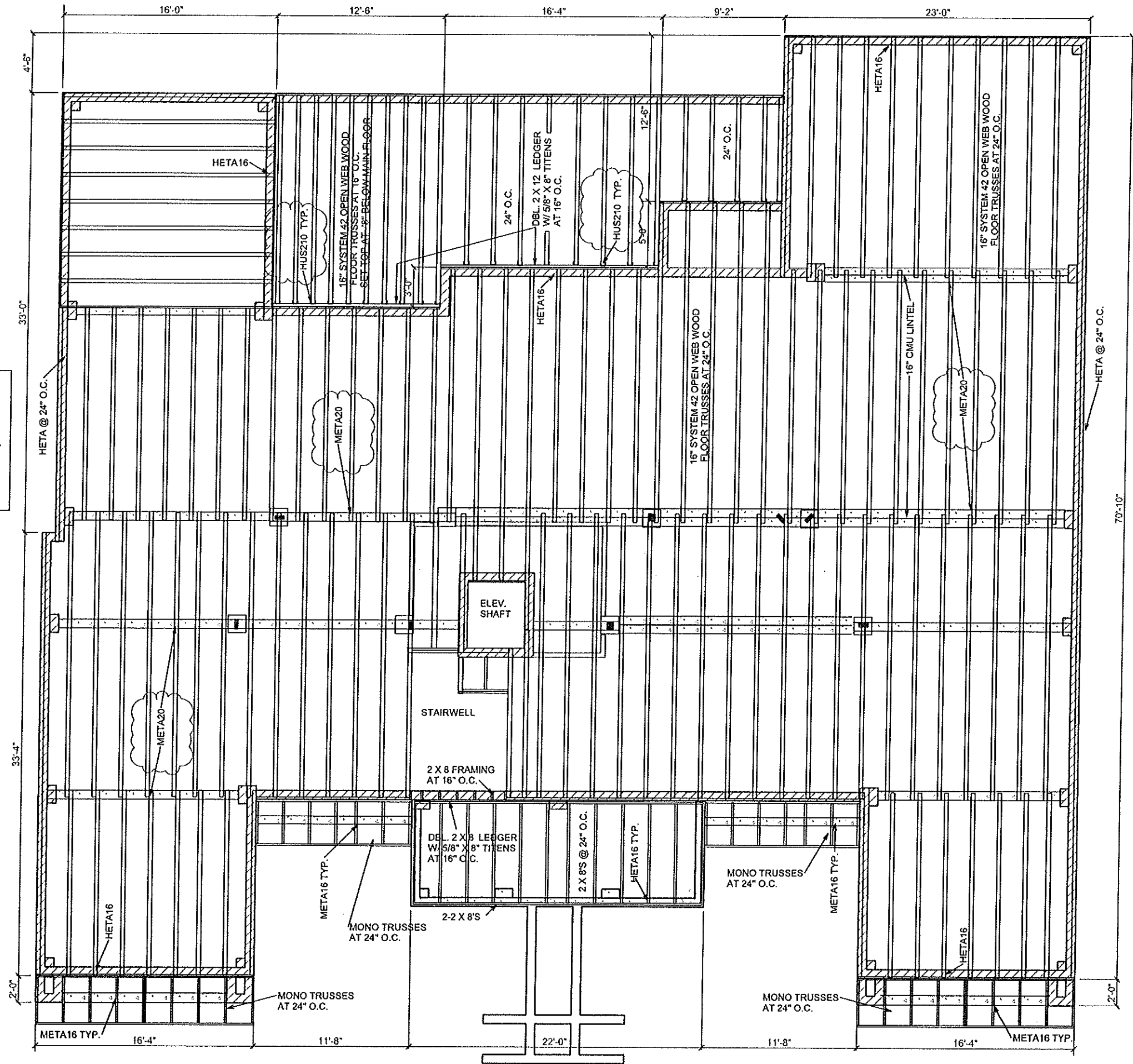


ZUENDT ENGINEERING
5405 WATER ST.
NEW PORT RICHEY, FL 34652
CA32834
727-848-2921
JOB # 6228

FLOOR TRUSS NOTES:

- (1) TRUSS TO TRUSS AND TRUSS TO GIRDER CONNECTORS TO BE SPECIFIED BY THE TRUSS MFR'ER.
- (2) MINIMUM LIVE LOADS FROM FLOOR TRUSS DESIGN TO BE BASED ON FBC TABLE 1601.1 FOR ROOM AND AREA USAGE. FOR MIXED USE FLOORS, USE THE LARGEST VALUE OF THE MIN. LIVE LOADS.

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPERATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD BEFORE START OF CONSTRUCTION.



FLOOR TRUSSES, FIRST FLOOR

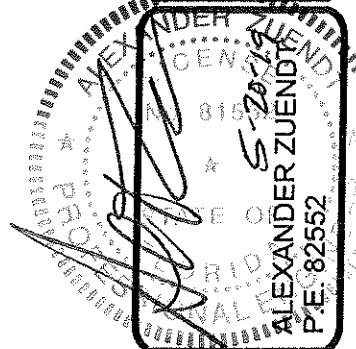
SCALE 1/8" = 1'-0"

6C

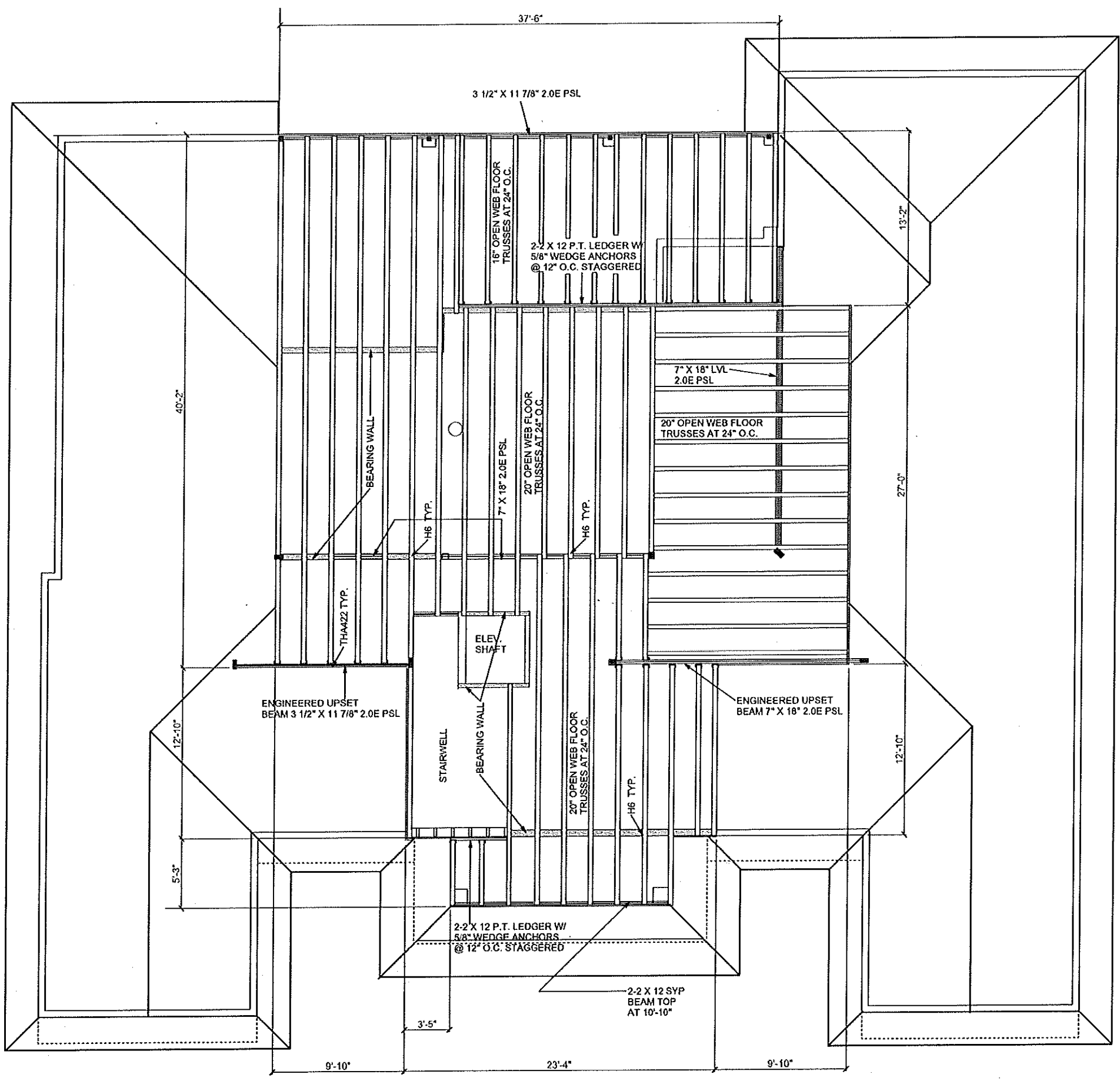
DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-576-6831

PLAN DATE
11-08-18 03-18-19
11-14-18 05-03-19
11-29-18
1-03-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.



ALEXANDER ZUENDT ENGINEERING
5405 WATER ST.
NEW PORT RICHEY, FL. 34652
CA32834
727-848-2921
JOB # 6228



FLOOR TRUSSES SECOND FLOOR

SCALE 1/8" = 1'-0"



DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

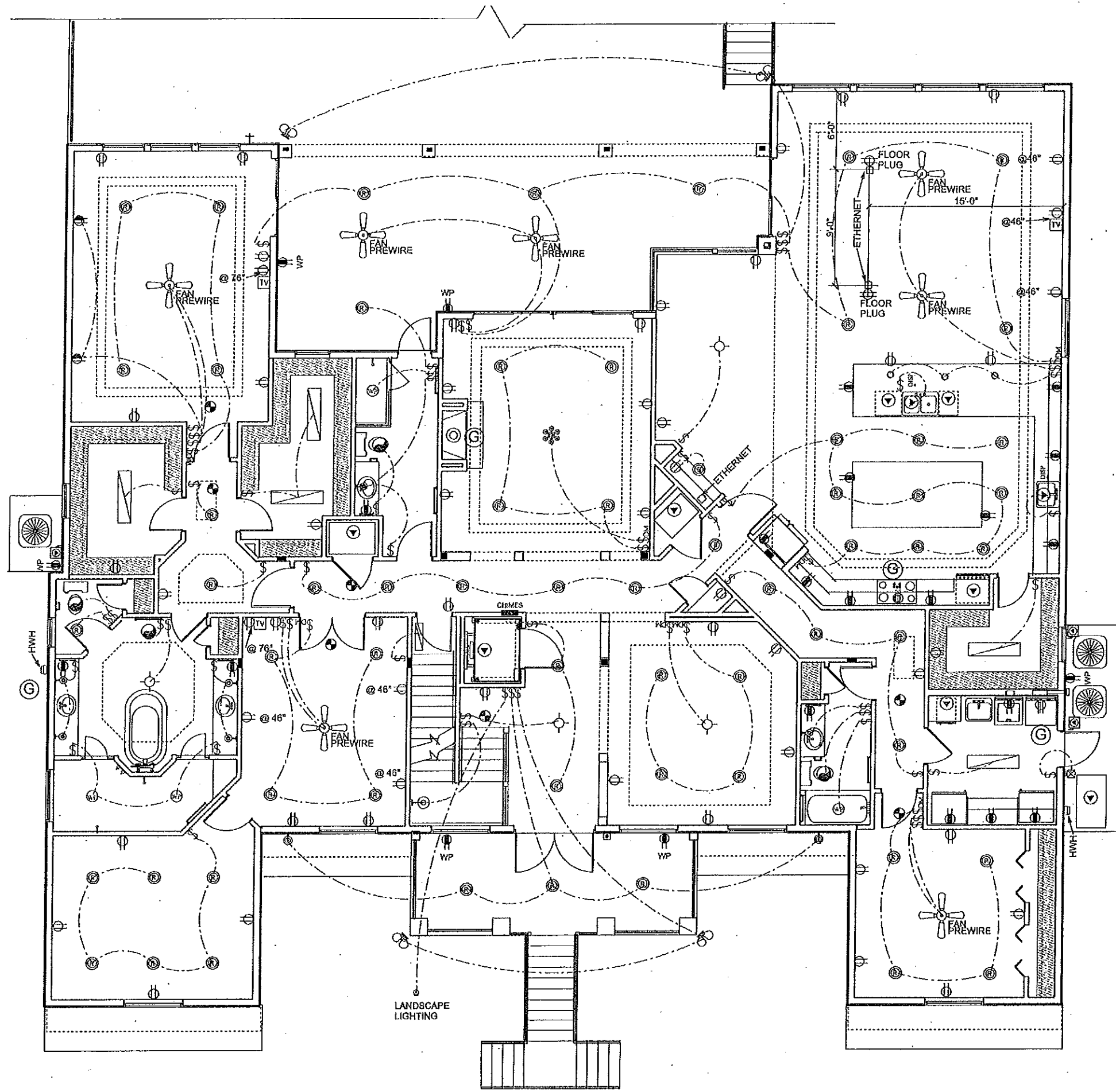
PLAN DATE
11-08-18
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

ZUENDT ENGINEERING
3405 WATER ST.
NEW PORT RICHEY, FL. 34652
352-2834
727-848-2921
JOB # 6228

- ELECTRICAL LEGEND**
- 1 SINGLE POLE SWITCH
 - 2 DOUBLE POLE SWITCH
 - 3 THREE-WAY SWITCH
 - 4 FOUR-WAY SWITCH
 - DM DIMMER SWITCH
 - CEILING FIXTURE
 - SCORNER (WALL MOUNTED) FIXTURE
 - 110 VOLT DUPLEX OUTLET
 - 110 VOLT SPLIT SWITCHED OUTLET
 - GROUND FAULT INTERRUPT
 - WP WATER PROOF W/ GROUND FAULT
 - 220 VOLT OUTLET
 - SPECIAL SERVICES OUTLET
 - TV T.V. CABLE OUTLET
 - TELEPHONE CABLE OUTLET
 - RECESSED LIGHTING
 - WATER PROOF RECESSED LIGHTING
 - BATH FAN
 - BATH FAN W/ LIGHT
 - GAS DROP
 - SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
 - FLOOD LIGHT
 - FLUORESCENT LIGHTING
 - TRACK LIGHTING
 - CEILING FAN
 - CHIMES
 - DOOR BELL CHIMES
 - DOOR BELL
 - DISPOSAL
 - DISCONNECT SWITCH
 - PREWIRE SPEAKER
 - JUNCTION BOX
 - THERMOSTAT
 - LOW VOLTAGE LIGHTING
 - INTERCOM SYSTEM
 - GARAGE DOOR PUSH BUTTON

UNLESS OTHERWISE NOTED
1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)
2. ALL TRIM PLATES AND DEVICES TO GAUGED WHERE POSSIBLE
3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.
5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION R314
6. PROVIDE AFCI (ARC FAULT INTERRUPTERS) IN ALL BEDROOMS PER NEC. SECTION 210-12
7. ALL RECEPTALS TO BE TAMPER PROOF PER SECT. 406.11



FIRST FLOOR ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

7

DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL 34655
727-576-6831

PLAN DATE
11-08-18, 03-18-19
11-14-18
11-29-18
12-03-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

NOT PART OF P.E. REVIEW

ELECTRICAL LEGEND

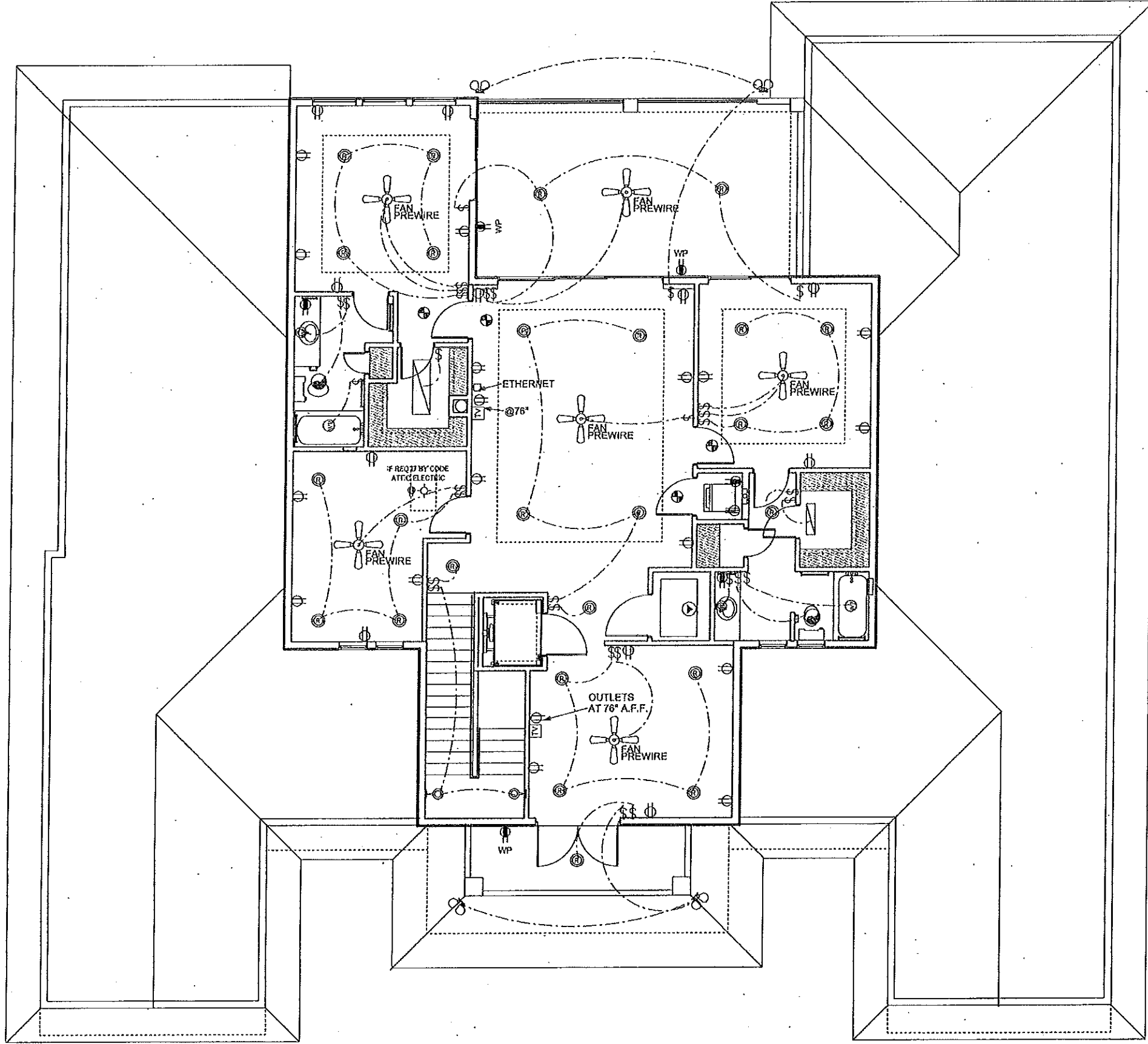
- \$ SINGLE POLE SWITCH
\$2 DOUBLE POLE SWITCH
\$3 THREE-WAY SWITCH
\$4 FOUR-WAY SWITCH
\$DM DIMMER SWITCH
CF CEILING FIXTURE
SC SCONCE (WALL MOUNTED) FIXTURE
110V 110 VOLT DUPLEX OUTLET
110V 110 VOLT SPLIT SWITCHED OUTLET
GFI GROUND FAULT INTERRUPT
WP WATER PROOF W/ GROUND FAULT
220V 220 VOLT OUTLET
SS SPECIAL SERVICES OUTLET
TV T.V. CABLE OUTLET
TEL TELPHONE CABLE OUTLET
RL RECESSED LIGHTING
WPR WATER PROOF RECESSED LIGHTING
BF BATH FAN
BFL BATH FAN W/ LIGHT

- SD SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
FL FLUORESCENT LIGHTING
TL TRACK LIGHTING
CF CEILING FAN
DB DOOR BELL CHIMES
DB DOOR BELL
DIS DISPOSAL
DISC DISCONNECT SWITCH
PREW PREWIRE SPEAKER
JB JUNCTION BOX
THER THERMOSTAT
LV LOW VOLTAGE LIGHTING
IC INTERCOM SYSTEM
GDP GARAGE DOOR PUSH BUTTON

UNLESS OTHERWISE NOTED

1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)
KITCHEN 42"
BATHROOM 42"
LAUNDRY 36" WASHER/ 24" DRYER/ WALL OUTLETS 45"
EXTERIOR WATERPROOF @ 12"
GARAGE GFI @ 45"
RANGE 220V @ 4"
2. ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE
3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.
5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION R314
6. PROVIDE AFCI (ARC FAULT INTERRUPTERS) IN ALL BEDROOMS PER NEC. SECTION 210-12
7. ALL RECEPTALS TO BE TAMPER PROOF PER SECT. 406.11



SECOND FLOOR ELECTRICAL

SCALE 1/8" = 1'-0"

7A

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL 34655
727-376-6831

PLAN DATE

11-08-18: 03-18-19
11-14-18
11-29-18
11-03-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

NOT PART OF P.E.
REVIEW

- ELECTRICAL LEGEND**
- | | |
|---|--------------------------|
| 1 SINGLE POLE SWITCH | SMOKE DETECTOR |
| 2 DOUBLE POLE SWITCH | CARBON MONOXIDE DETECTOR |
| 3 THREE-WAY SWITCH | FLOOD LIGHT |
| 4 FOUR-WAY SWITCH | FLUORESCENT LIGHTING |
| 5 DIMMER SWITCH | 1" PEX CL. CATHOD |
| 6 CEILING FIXTURE | CEILING FAN |
| 7 SODUCE (WALL MOUNTED) FIXTURE | DOOR BELL CHIMES |
| 8 INDOOR OUTLET | DOOR BELL |
| 9 INDOOR SWITCHED OUTLET | DISPOSAL |
| 10 GROUND FAULT INTERRUPTER | 0-30 AMP GFI SWITCH |
| 11 WATER PROOF GROUND FAULT INTERRUPTER | PREWIRE SPEAKER |
| 12 INDOOR OUTLET | PLANTER BOX |
| 13 SPECIAL SERVICES OUTLET | THERMOSTAT |
| 14 TV CABLE OUTLET | LOW VOLT LIGHTING |
| 15 TELEPHONE CABLE OUTLET | MICROPHONE SYSTEM |
| 16 RECESSED LIGHTING | GARAGE DOOR PUSH BUTTON |
| 17 WATER PROOF RECESSED LIGHTING | |
| 18 BATH FAN | |
| 19 BATH FAN W/ LIGHT | |

NOTES:

UNLESS OTHERWISE NOTED
1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)

KITCHEN 42"
BATHROOM 42"
LAUNDRY 36" WASHER/ 24" DRYER/ WALL OUTLETS 45"
EXTERIOR WATERPROOF @ 12"
GARAGE GFI @ 45"
RANGE 220V @ 4"

2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE

3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.

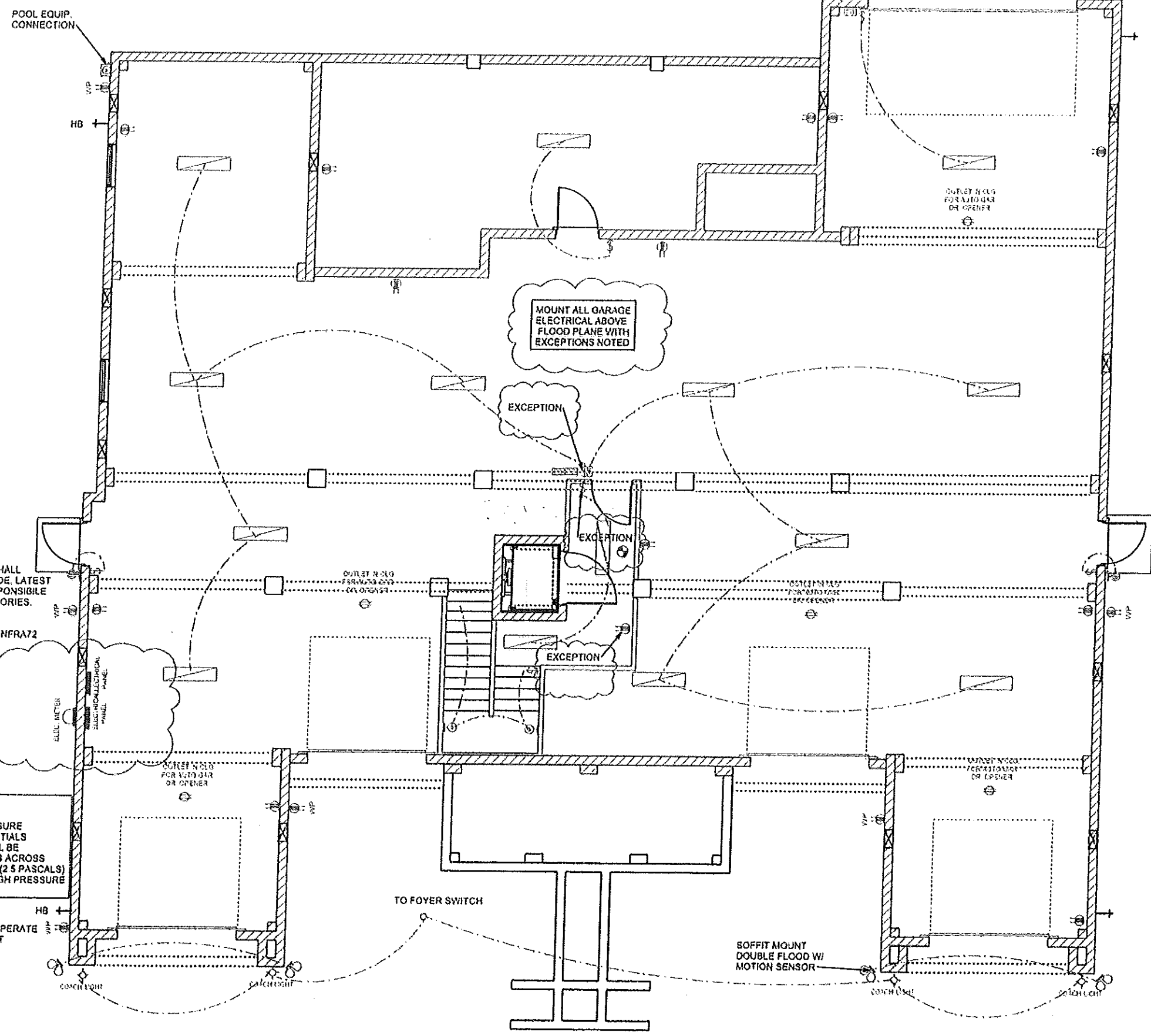
5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, R314, UL217 NFPA72 AND SECTION 907.2.11.1 & NFPA72

6. PROVIDE AFCI (ARC FAULT INTERRUPTERS) IN ALL AREAS PER NEC, SECTION 210.12

7. ALL RECEPTALS TO BE TAMPER PROOF PER SECT 406.11

NOTE:
PER SECTION 501.2 MECH CODE 2004, THE AIR REMOVED BY MECHANICAL EXHAUST SYSTEM SHALL BE DISCHARGED OUTDOORS AT A POINT WHERE IT WILL NOT CAUSE A NUISANCE AND FROM WHICH IT CANNOT AGAIN BE READILY DRAWN IN BY A VENTILATING SYSTEM. AIR SHALL NOT BE EXHAUSTED INTO AN ATTIC OR CRAWL SPACE

NOTE:
PER SECT 601.4 BALANCED RETURN AIR. PROVISIONS SHALL BE MADE TO AVOID UNBALANCED AIR FLOWS AND PRESSURE DIFFERENTIALS CAUSED BY RESTRICTED RETURN AIR. PRESSURE DIFFERENTIALS ACROSS CLOSED DOORS WHERE RETURNS ARE CENTRALLY LOCATED SHALL BE LIMITED TO 0.01 INCH WC (2.5 PASCALS) OR LESS. PRESSURE DIFFERENTIALS ACROSS FIREWALLS IN CEILING SPACE PLenums SHALL BE LIMITED TO 0.01 INCH WC (2.5 PASCALS) BY PROVIDING AIR DUCT PATHWAYS OR AIR TRANSFER PATHWAYS FROM HIGH PRESSURE ZONES TO THE LOW ZONES



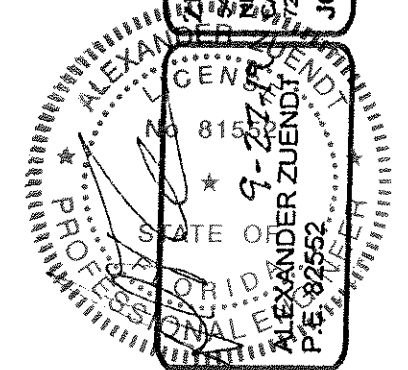
GROUND FLOOR ELECTRICAL

SCALE 1/8" = 1'-0"

DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-176-8831

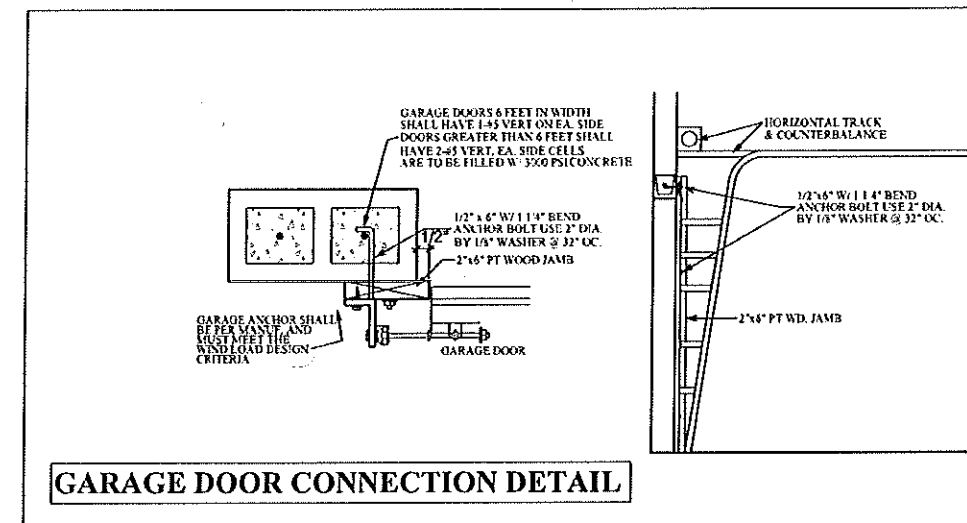
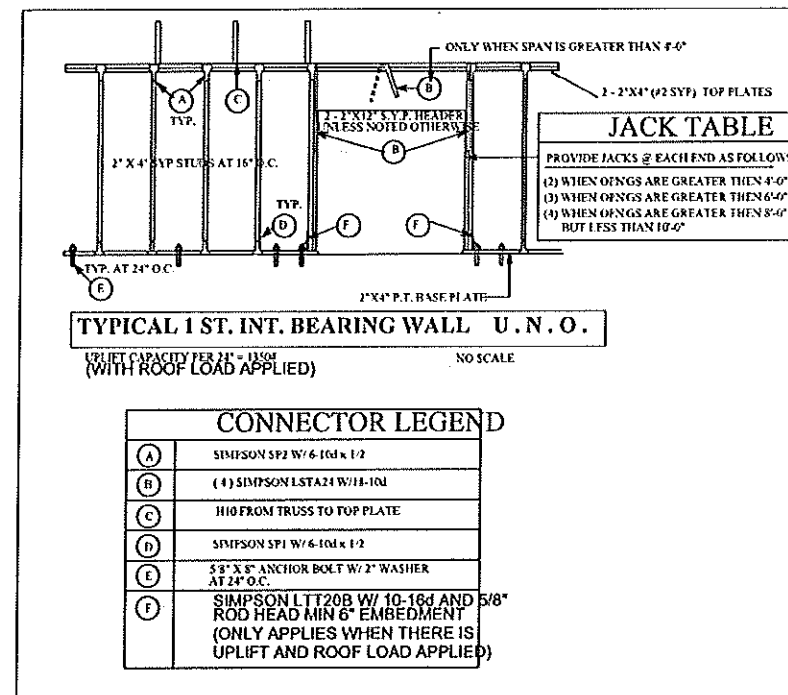
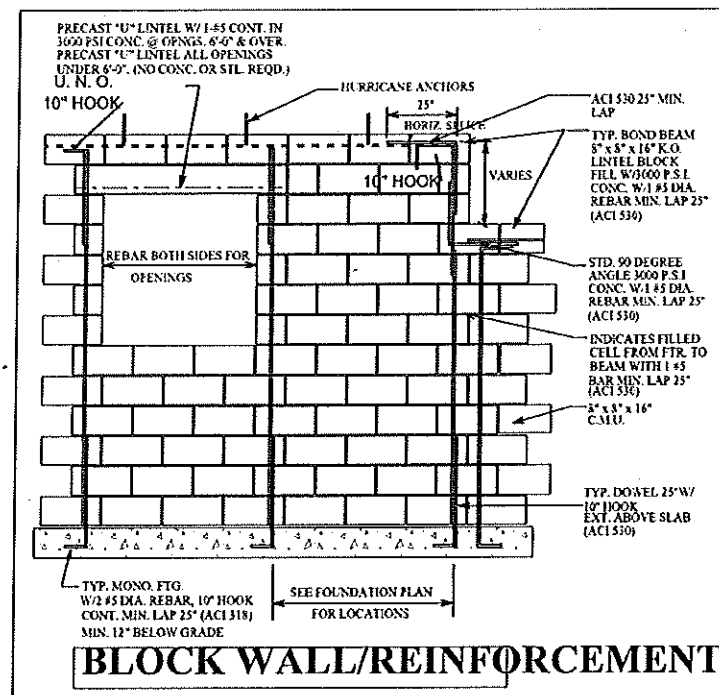
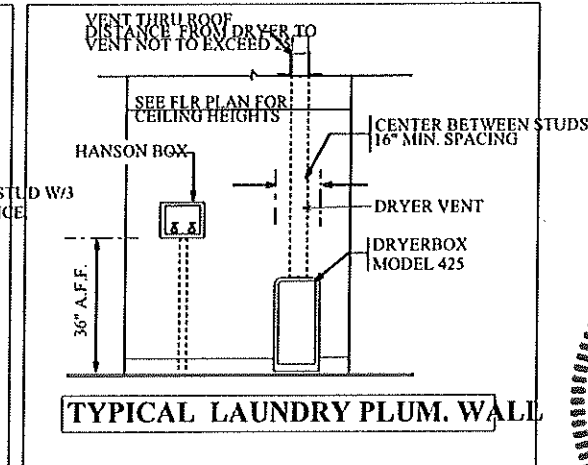
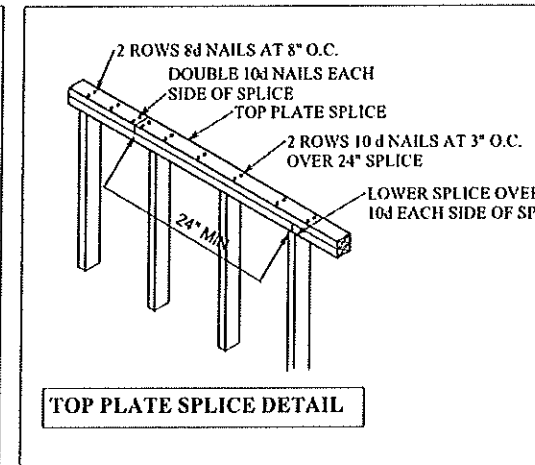
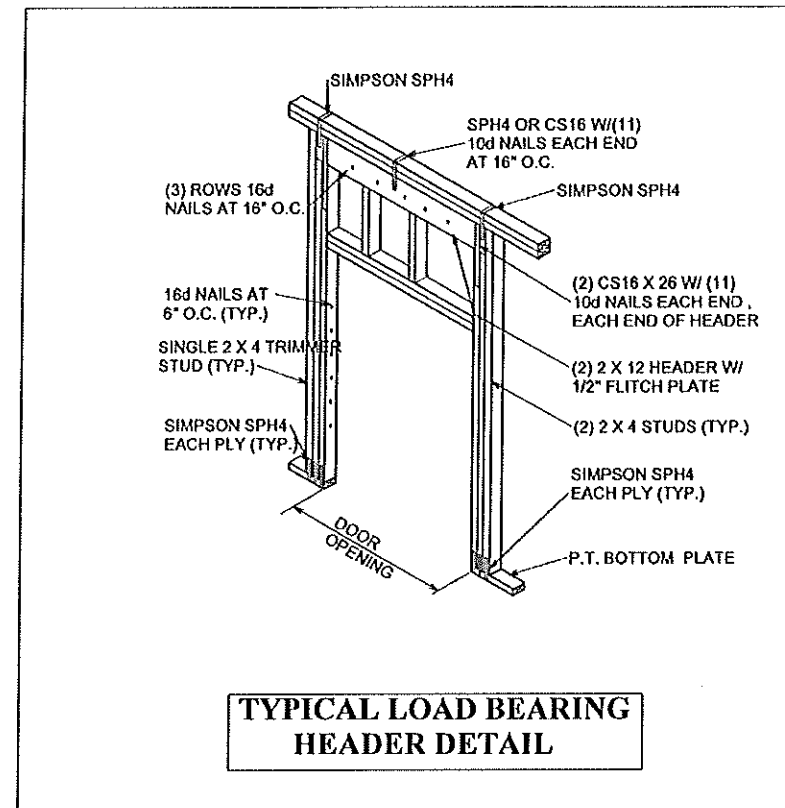
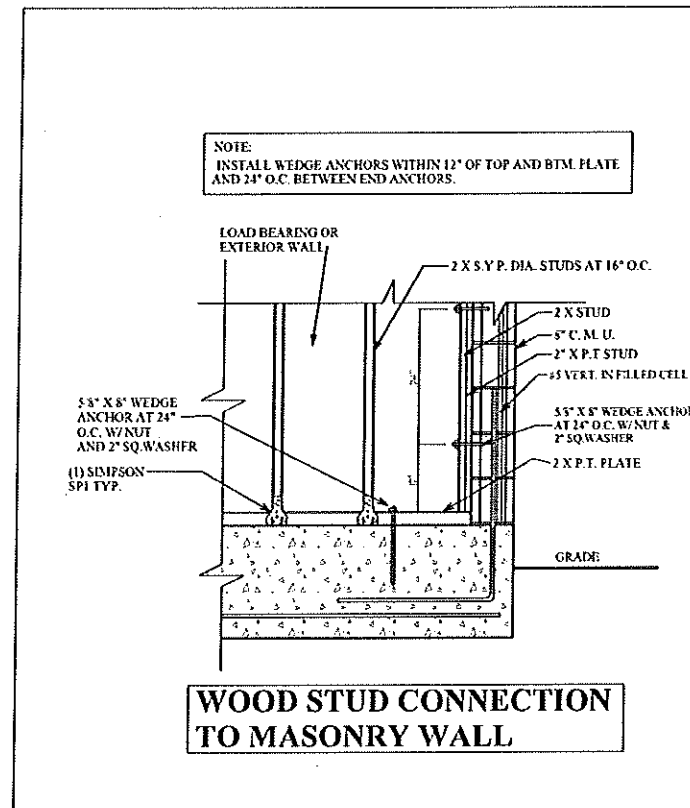
PLAN DATE
11-08-18 03-18-19
11-14-18 05-03-19
11-29-18 08-08-19
103-19 108-22-19
09-17-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.



ZUENDT ENGINEERING
2405 WATER ST.
NEW PORT RICHEY, FL. 34652
813-343-2834
727-271-848-2821
JOB # 6228

7B



CONSTRUCTION DETAILS

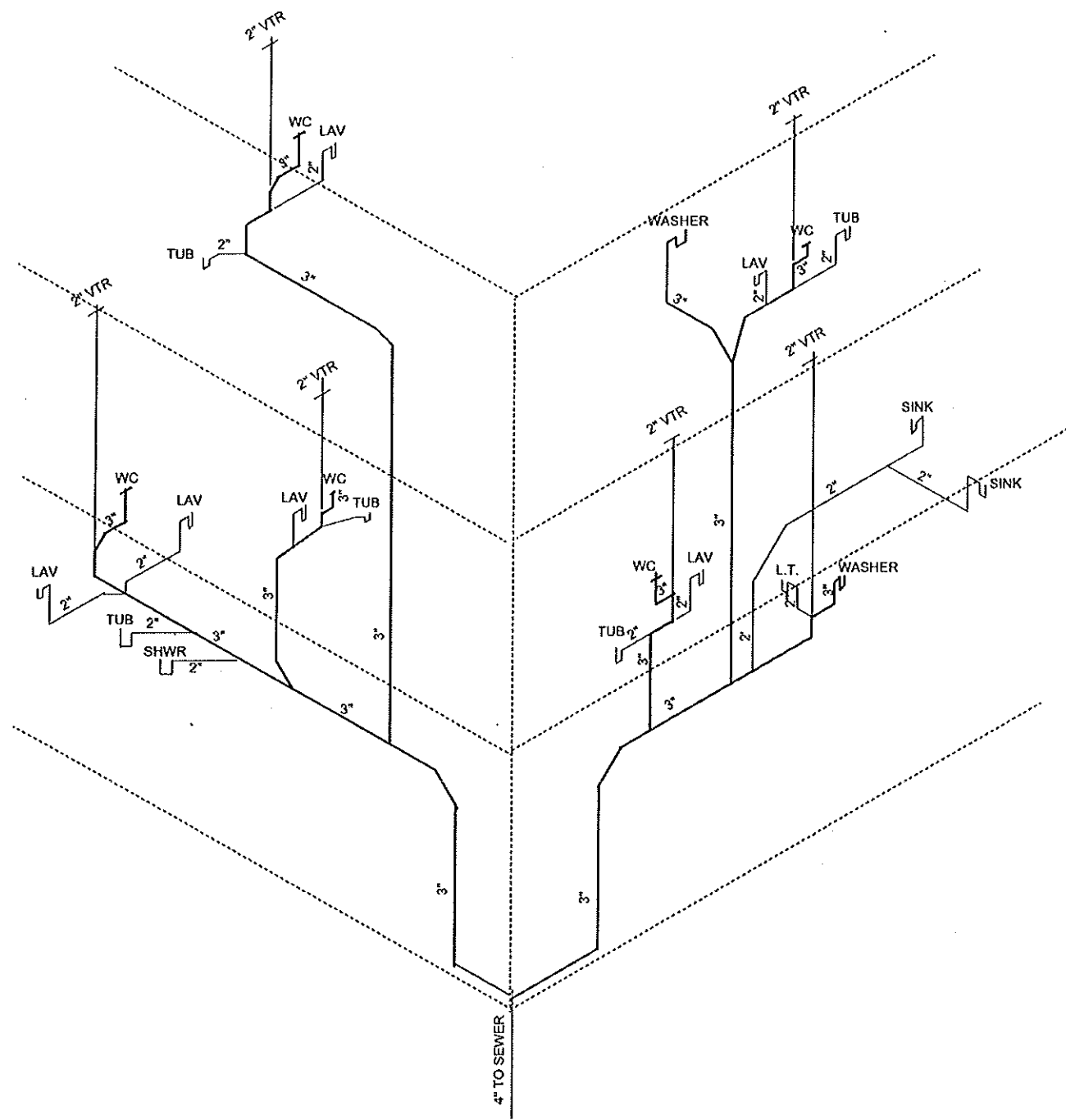
ZUENDT ENGINEERING
 10000 WATER ST.
 AIRPORT RICHEY, FL. 34652
 813-222-2834
 813-222-48-2921
 813-222-6228

LICENSE
 No 22-22-2
 STATE OF FLORIDA
 FOR
 ALEXANDER ZUENDT
 PERSONAL
 P.E. 22-252

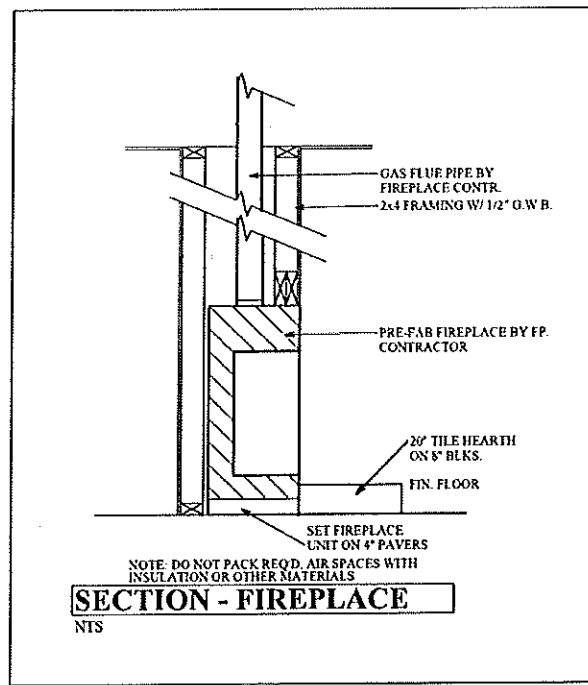
**DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.**

PLAN DATE
11-08-18 03-18-19
11-14-18
11-29-18
1-03-19

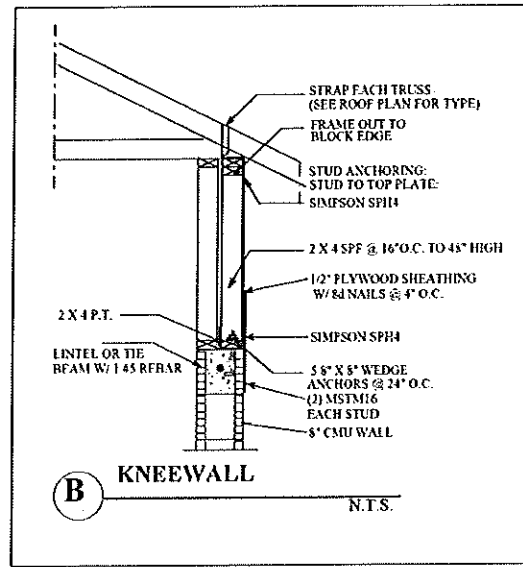
**DEEB FAMILY
HOMES, LTD.**
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831



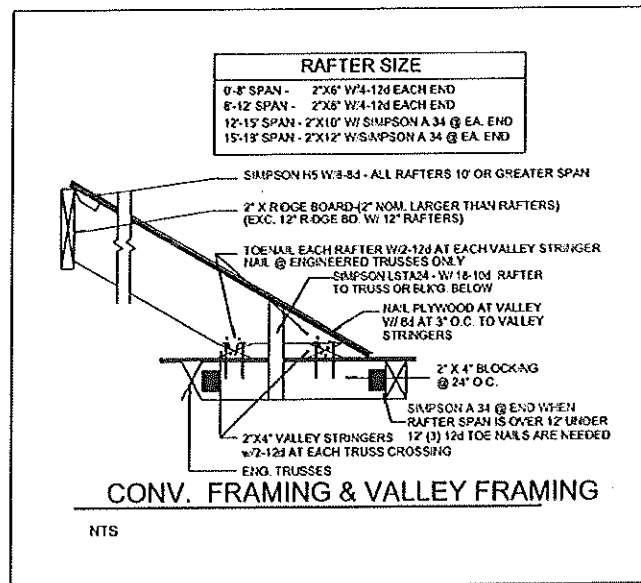
PLUMBING RISERS



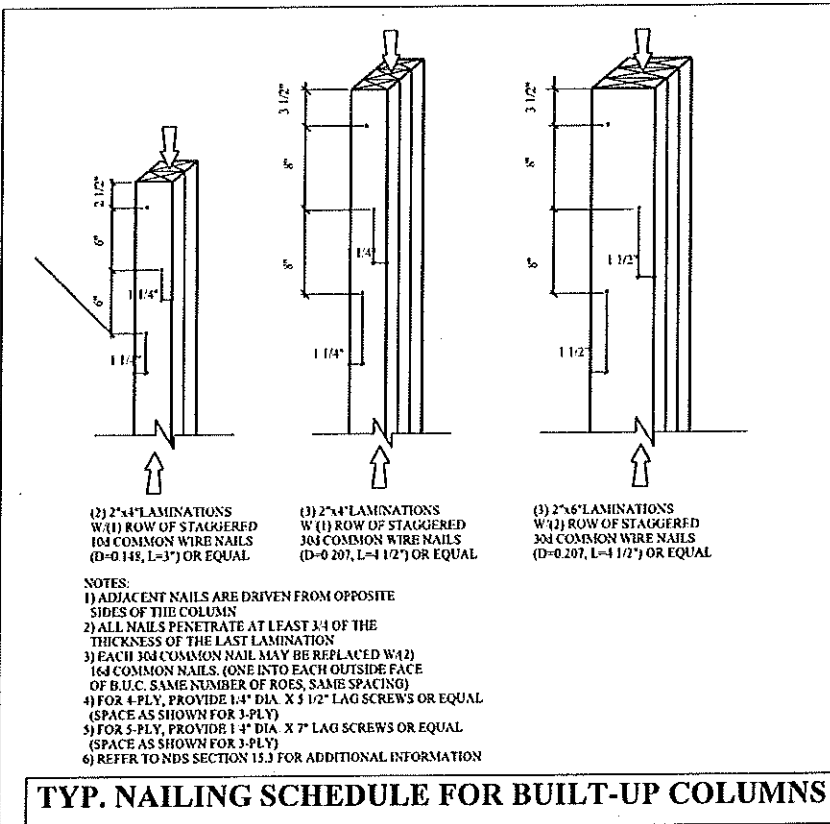
SECTION - FIREPLACE



KNEEWALL



CONV. FRAMING & VALLEY FRAMING



TYP. NAILING SCHEDULE FOR BUILT-UP COLUMNS

CONST. DETAILS

9

DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

PLAN DATE
11-08-18 03-18-19
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

ALEXANDER ZUENDT
P.E. 82552
FLORIDA PROFESSIONAL ENGINEER

ZUENDT ENGINEERING
5405 WATER ST.
NEW PORT RICHEY, FL. 34652
CA32834
727-848-2921
JOB # 6228

ENGINEERED WOOD TRUSSES
5.5' @ 24" O.C.
INSTALL ROOFING PER ROOF
MFR'S INSTRUCTIONS.

GALV. STANDING SEAM METAL ROOFING INSTALL
PER MFR. RECOMMENDATIONS. OVER
PEEL & STICK MEMBRANE OVER
7/16" OSB ROOF SHEATHING W/ CLIPS
W/ 8d RINGSHANK @ 4" O.C. BOUNDARY AND
EDGES AND 6" O.C. IN THE FIELD WITH A SETBACK
OF 5' 0" FROM ALL EDGES.

R38 INSULATION
KNOCKDOWN FIN. ON
1/2 DRYWALL

SPH6
WRAP LSTA36 OVER
EACH HEADER END

2 X 8 SPRUCE SUB FASCIA
W/ 3/4 X 6 MIRATEC OVER
3/4 X 10 MIRATEC.

VENTED VINYL
SOFFIT

1'-0"

ALUM. S.H.
FIN WINDOW

2 X 6 SYP STUDS
@ 16" O.C.

R-19 BATTS

2-3/4" 3000 P.S.I. CONCRETE OVER 6 MIL.
MOISTURE BARRIER OVER 3/4" ADVANTEC
T & G PLYWOOD FLOORING W/ 8d RING
SHANK @ 6" O.C. EDGE AND FIELD.

3/4" T & G PLYWOOD FLOORING.
FASTEN W/10d RING SHANKS AT 6" O.C.
ON EDGE AND 12" O.C. IN FIELD

1'-8 3/4"

12'-0"

LSTA18 EACH STUD TOP
AND BTM AND TO BAND
JOIST (TYP) CS16 STUD TO STUD

2 X 6 FLOOR
TRUSS NAILERS

VINYL WRAP 7/16" OSB
SHEATHING

HARDPLANK SIDING W/ 6" REVEAL. INSTALL PER
MANUF. SPECIFICATIONS INCLUDING CORROSION
RESISTANT FASTENERS AND APPLICABLE CODES.
ATTACH TO STUDS PER MANUF. SPECIFICATIONS.

1'-4 3/4"

LSTA18 EACH STUD
TO FLOOR TRUSS

2 X 6 FLOOR
TRUSS NAILERS

(2) HETA16'S EACH TRUSS
1 PER SIDE

LOWEST STRUCTURAL MEMBER

FLOOD PLANE AT 14' 00" NAVD

5/8" TEXTURED CEMENTITIOUS
FINISH ON CONC. BLOCK

9'-4"

4'-0"

ELEVATION 0' 0" SET AT 6.9' NAVD

APPROX GRADE

1'-6"

3'-4"

CROWN @ 5.3'

24" X 14" CONC. GRADE
BEAM W/ 4 # 5 RODS TOP
& BOTTOM

APPROX. EXIST GRADE

3'-1"

1'-0"

WOOD PILE - 23 TON

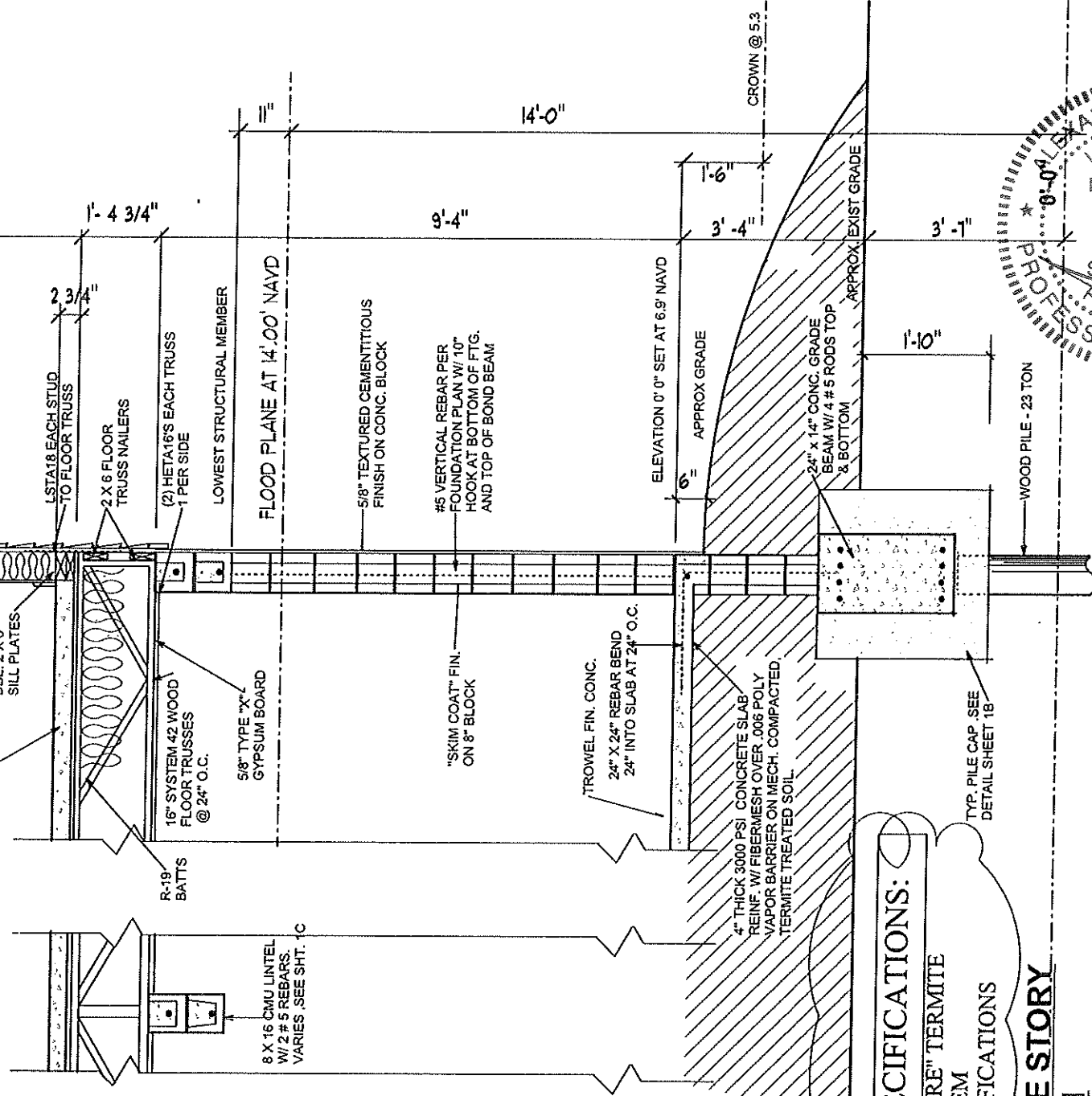
TYP. PILE CAP. SEE
DETAIL SHEET 18

CONNECTOR TABLE

SIMPSON	FLORIDA PRODUCT NUMBERS PER INDEX 2-25-2011
MBHA3.56/11.88	10866.12
H2	10456.10
H6	10456.16
H10A	10456.6
LGT2	11470.6
MGT	11470.7
LSTA18	10852.4
LSTA24	10852.4
SP1	10456.41
SP2	10456.42
HTS20	10456.23
HTS16	10456.22
META16	11473.17
L30	11473.19
MSTAM24	10446.11
MSTAM36	11473.19
MSTCM60	11473.19
CS16	10852.1
SPH4	10456.46
SPH6	10456.47
HTT4	11496.2
HTT5	11496.2
ABU66	10849.6
HUS210	10655
META20	11473

- 1/2" DRYWALL OVER
- 2 X 6 SYP STUDS AT 16" O.C.
 - H10 TO ROOF TRUSS
 - OSB SHEATHING FROM TOP
PLATES TO BTM. PLATE
 - 10d NAILS 4" O.C. EDGES, 6" O.C. FIELD
W/ 2 ROWS AT DBL. TOP PLATE
 - SHEATHING AND NAILING PATTERN SUFFICIENT
TO MEET UPLIFT AND WIND LOAD REQUIREMENTS.
 - BLOCK ALL PLYWOOD SPANS & NAIL SHEATHING TO
BLOCKING. 4" ROWS @ 4" O.C. TO BOTTOM L.V.L.

2-3/4" 3000 P.S.I. CONCRETE OVER 6 MIL.
MOISTURE BARRIER OVER 3/4" ADVANTEC
T & G PLYWOOD FLOORING W/ 8d RING
SHANK @ 6" O.C. EDGE AND FIELD.



TERMITE SPECIFICATIONS:

INSTALL "BORA-CARE" TERMITE
PROTECTION SYSTEM
PER MANUF. SPECIFICATIONS

TYPICAL THREE STORY WALL SECTION

10

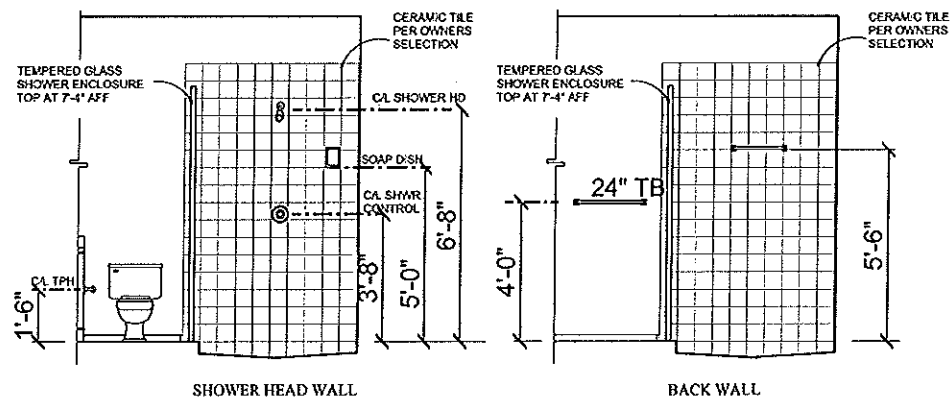
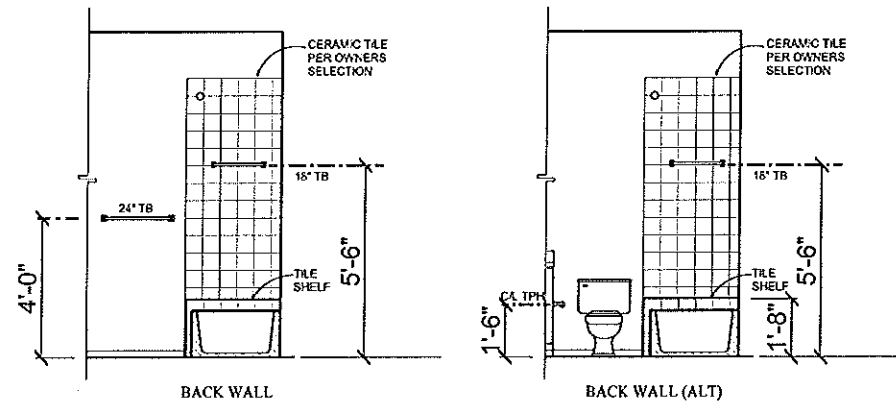
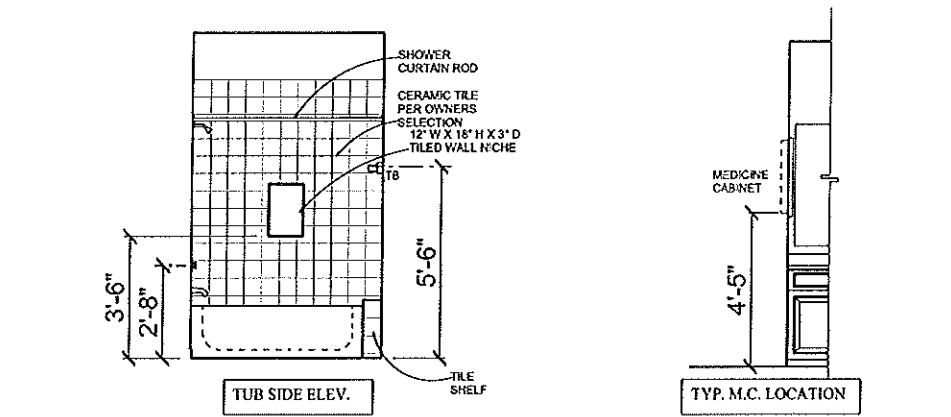
DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

PLAN DATE
11-08-18 03-18-19
11-14-18 05-03-19
11-29-18
1-03-19

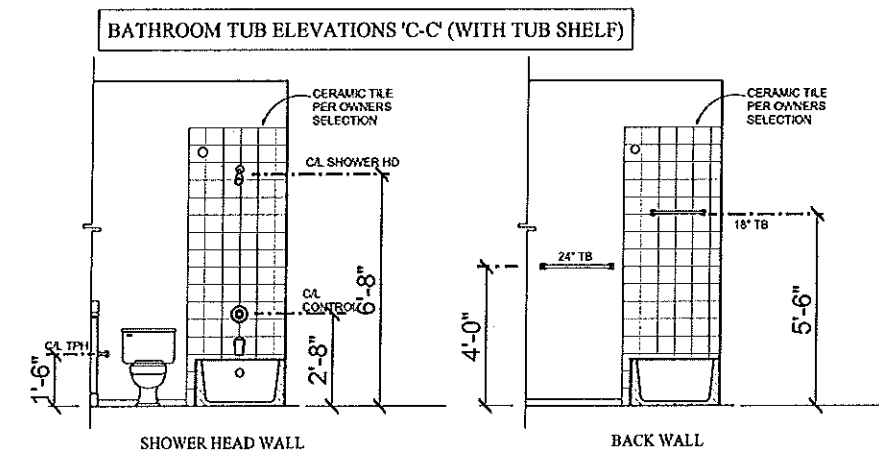
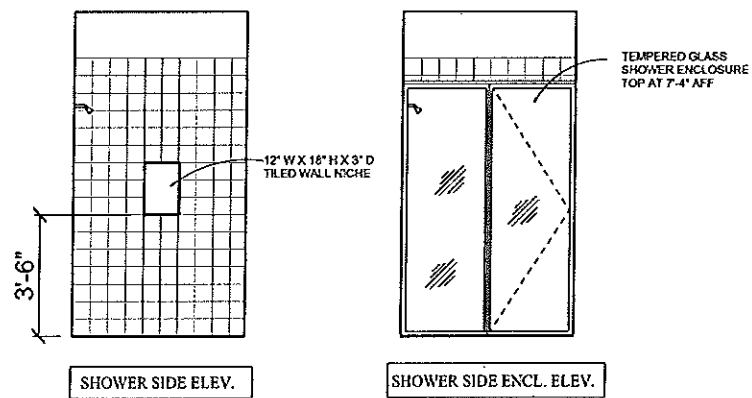
DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

PROFESSIONAL ENGINEER
ALEXANDER ZUENDT
P.E. 82552
5-20-18

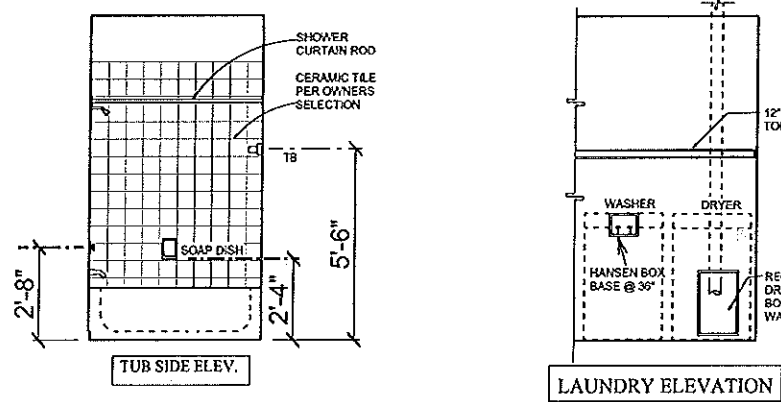
ZUENDT ENGINEERING
5405 WATER ST.
NEW PORT RICHEY, FL. 34652
CA32834
727-848-2921
JOB # 6228



BATHROOM SHOWER ELEVATIONS 'A-A'



BATHROOM TUB ELEVATIONS 'B-B'



TYPICAL INTERIOR BATROOM DETAILS

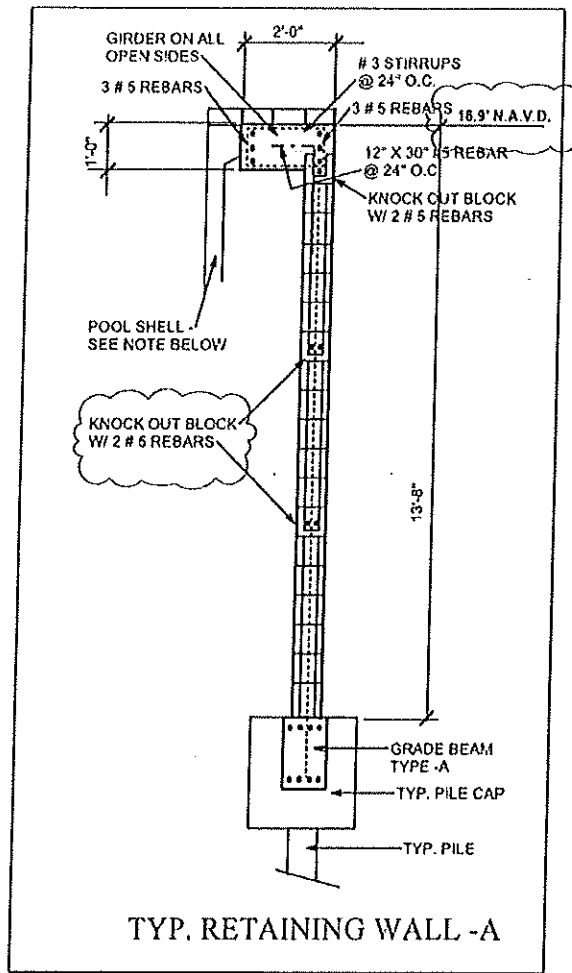
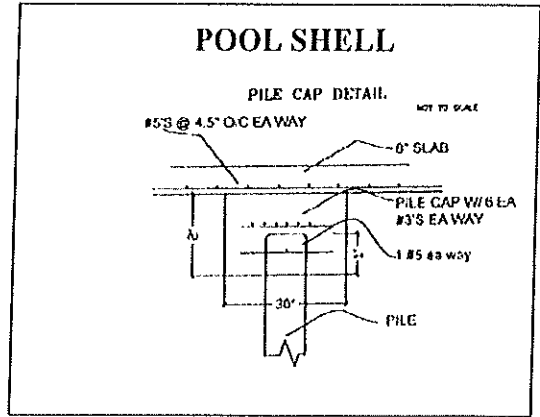
ZUENDT ENGINEERING
5405 WATER ST.
NEW PORT RICHEY, FL. 34652
CA32834
727-848-2921

ALEXANDER ZUENDT
P.E. 82552

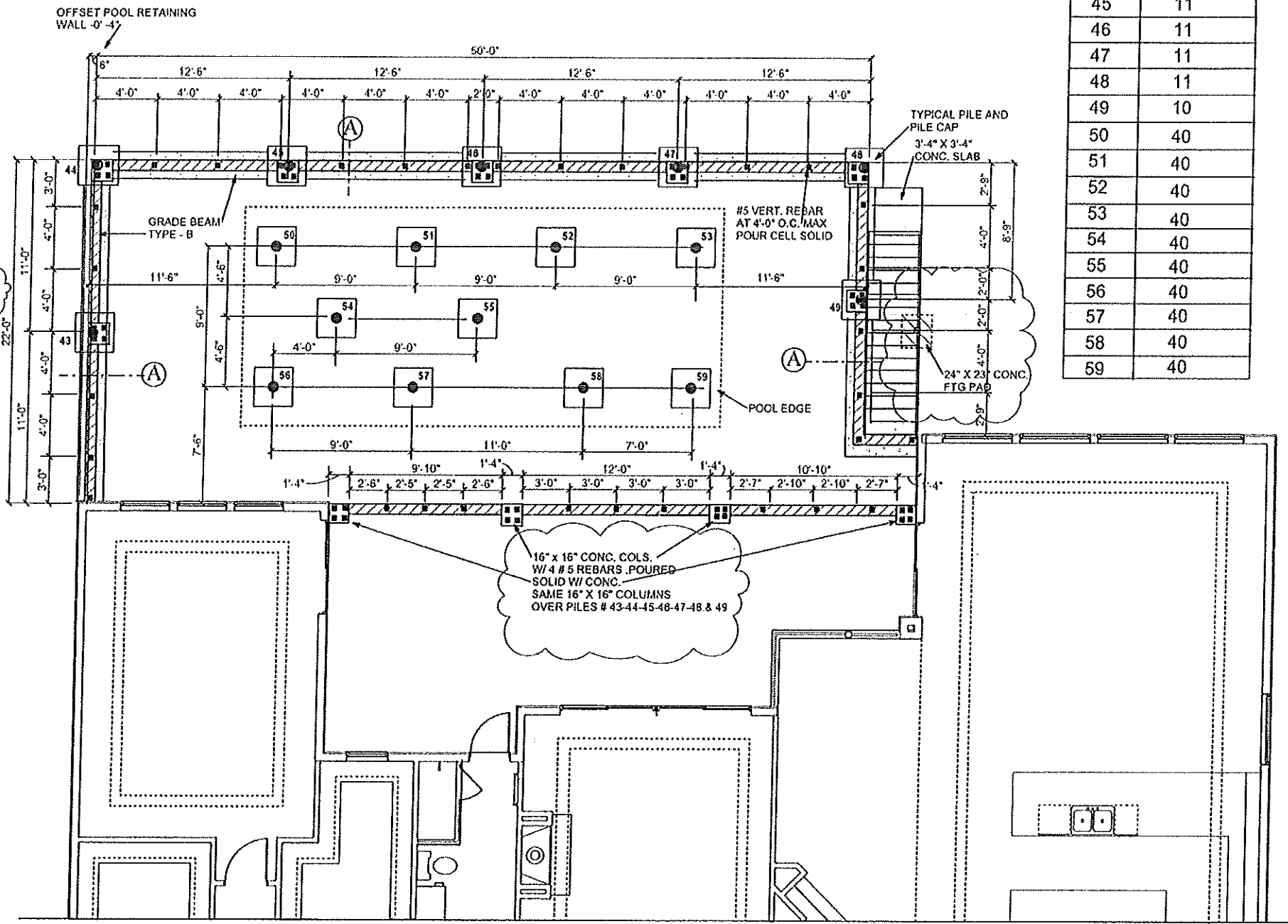
DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

PLAN DATE
2-12-2019
2-15-2019

DEEB FAMILY
HOMES, LTD.



- Pool Steel for 348 Shore Dr. E
- POOL SHELL NOTES**
1. Pool shell bottom to be 8" thick with #5 rebar @ 4.5" o.c.
Pool walls to be 6" thick with #3 rebar @ 12" o.c.
 2. Concrete strength; 4000 psi
 3. Reinforcing steel; grade 40
 4. Minimum steel cover in ground; 1.5"
 5. Cut off the pile so that the top will be 12" above the bottom of the PILE CAP.



PILE #	TOTAL KIPS
43	10
44	11
45	11
46	11
47	11
48	11
49	10
50	40
51	40
52	40
53	40
54	40
55	40
56	40
57	40
58	40
59	40

POOL WALL & PILING DETAILS

SCALE 1/4" = 1'-0"

DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-4831

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

ALEXANDER ZUENDT ENGINEERING
5305 WATER ST.
NEW PORT RICHEY, FL. 34652
CA32834
727-848-2921
JOB # 6228

9-28-19

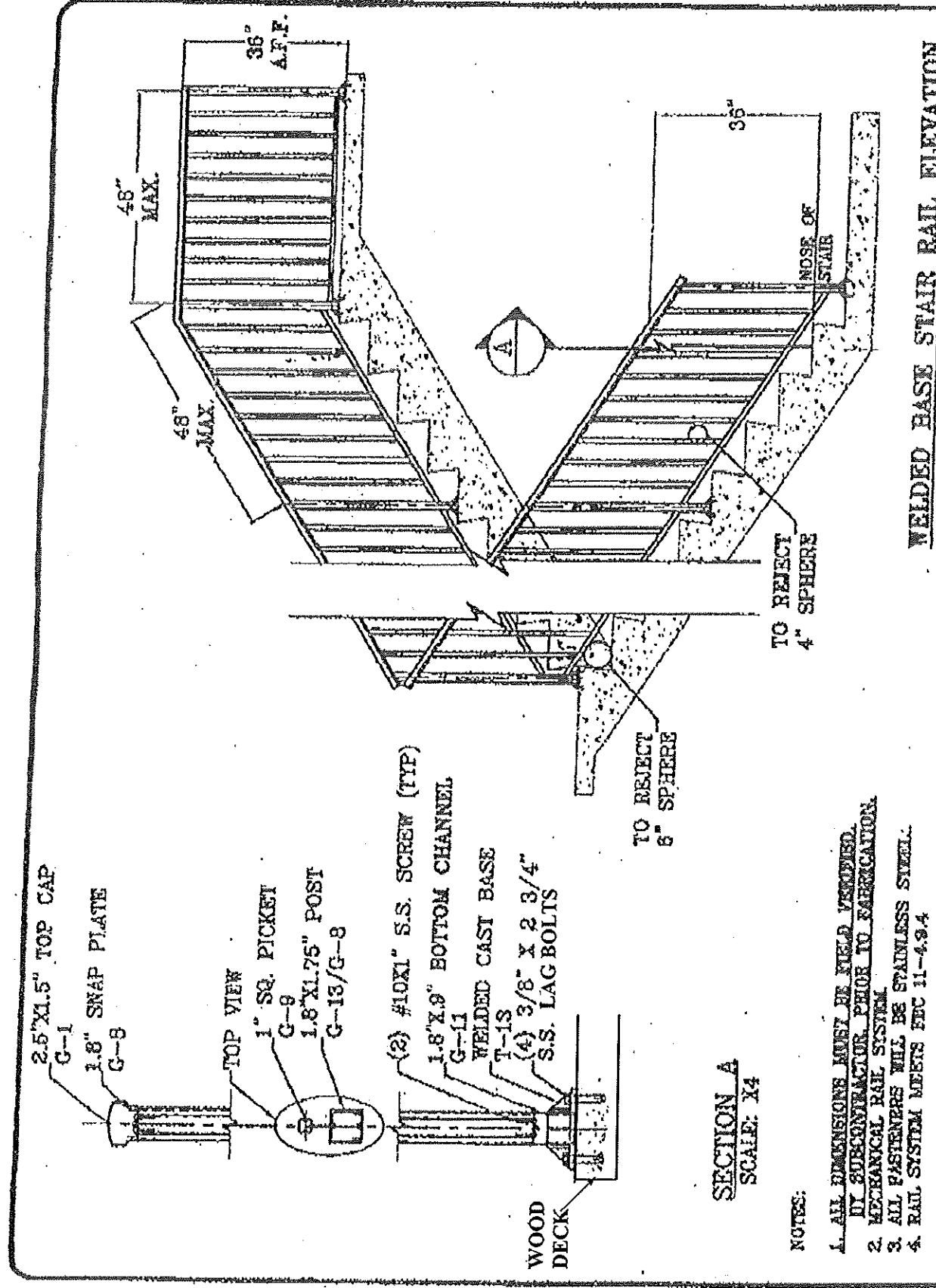
PLAN DATE

11-08-18 03-18-19
11-14-18 05-03-19
11-29-18 08-05-19
1-03-19 08-22-19
09-17-19

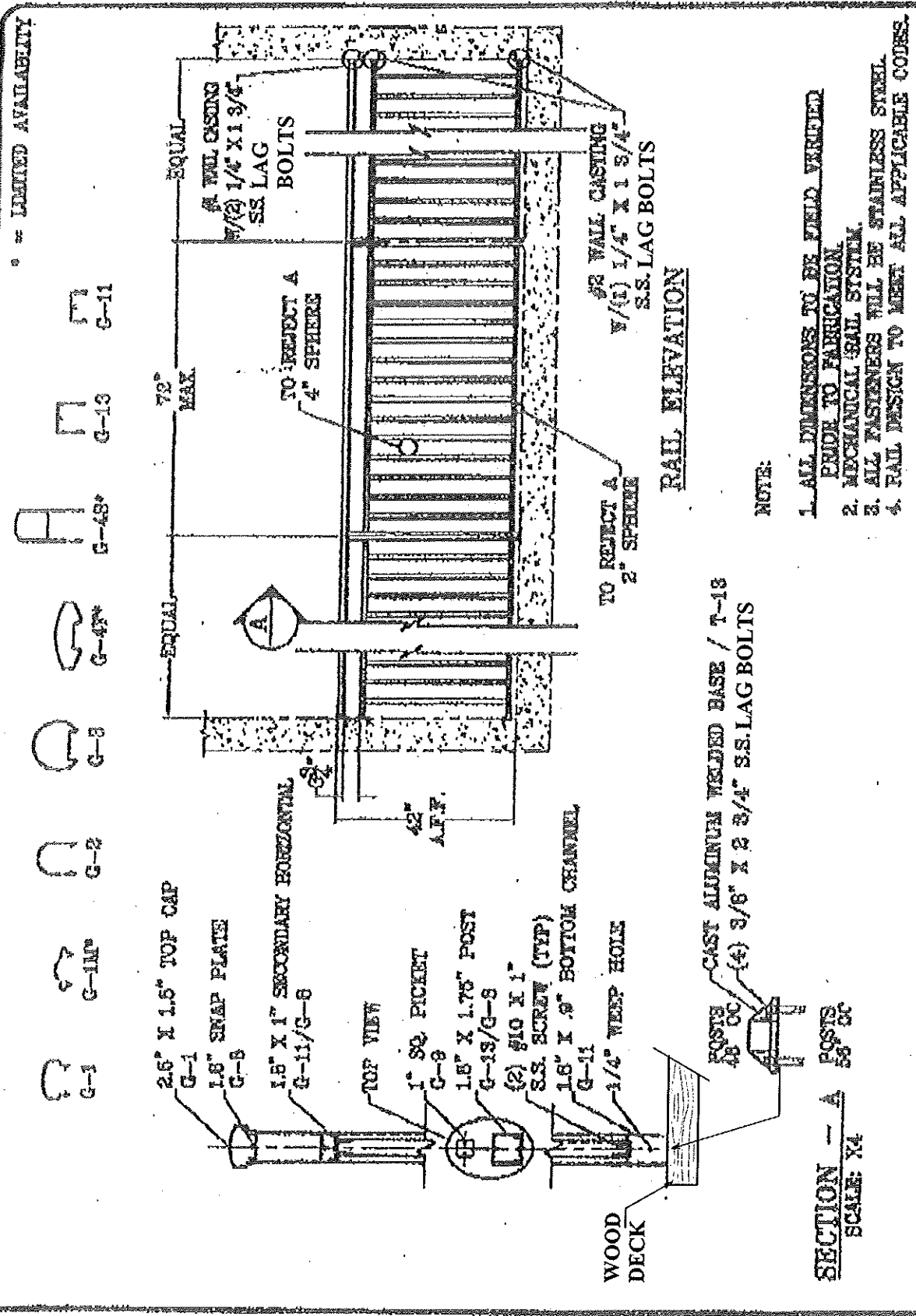
PLAN DATE

12

PROFESSIONAL ENGINEER



STAIR & LANDING RAIL	STAIR & LANDING RAIL
STAIR & LANDING RAIL	STAIR & LANDING RAIL
STAIR & LANDING RAIL	STAIR & LANDING RAIL
STAIR & LANDING RAIL	STAIR & LANDING RAIL



MECHANICAL GUARD RAIL	MECHANICAL GUARD RAIL
MECHANICAL GUARD RAIL	MECHANICAL GUARD RAIL
MECHANICAL GUARD RAIL	MECHANICAL GUARD RAIL
MECHANICAL GUARD RAIL	MECHANICAL GUARD RAIL

RAILING ATTACHMENT DETAILS

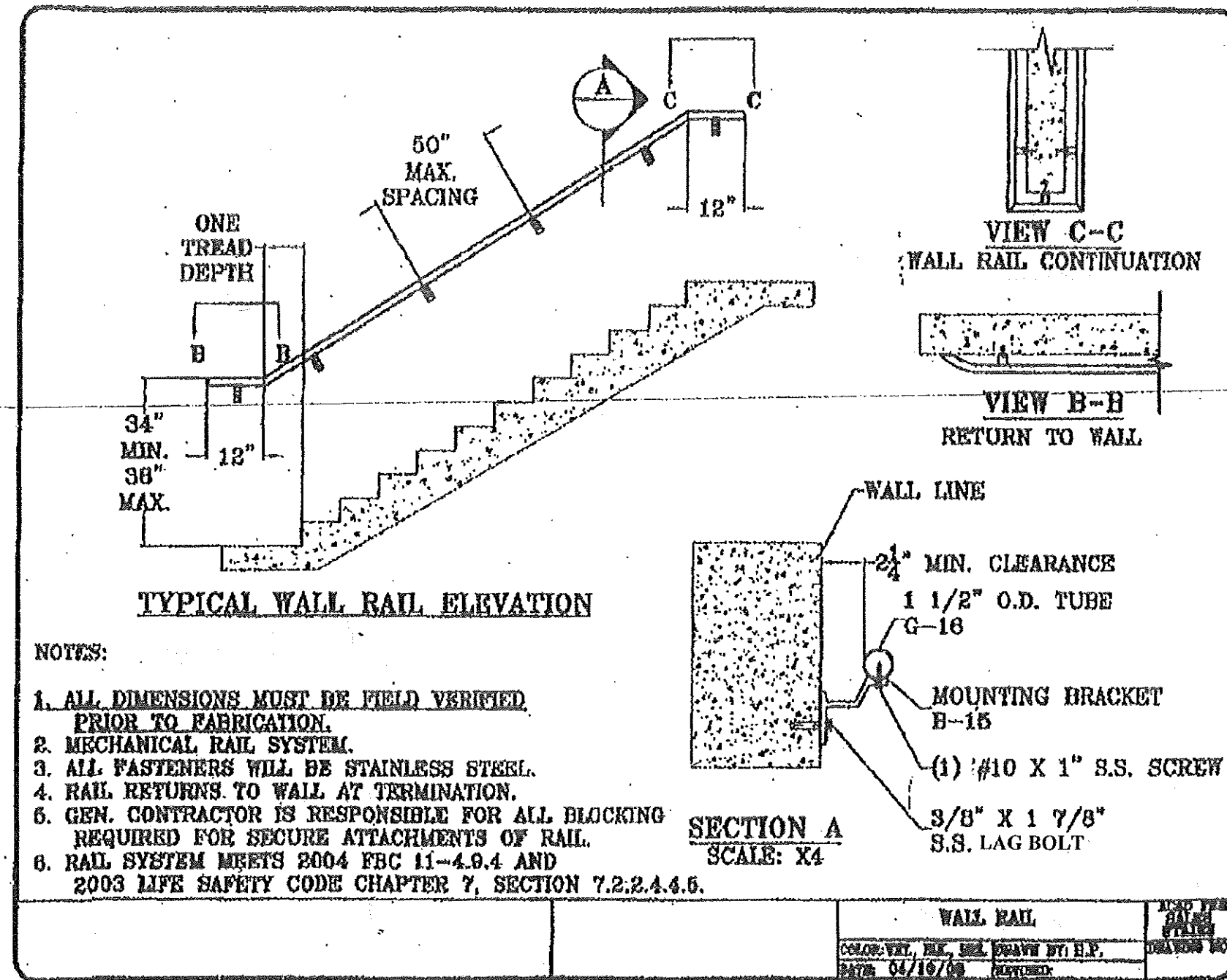
DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

PLAN DATE
11-08-18 03-18-19
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.

PROF. ALEXANDER ZUENDT
STATE OF FLORIDA
P.E. 82552
ENGINEER

ZUENDT ENGINEERING
5405 WATER ST.
NEW PORT RICHEY, FL. 34652
CA32834
727-848-2921
JOB # 6228



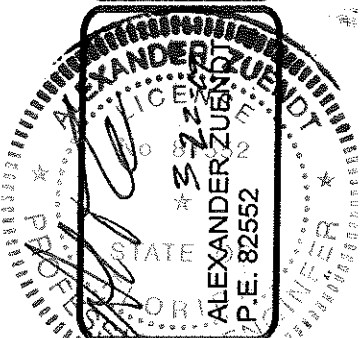
HAND RAIL CONNECTION DETAILS

14

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL 34655
727-376-6831

PLAN DATE	11-08-18	03-18-19
	11-14-18	
	11-29-18	
	12-03-19	

DEEB RESIDENCE
348 SHORE DRIVE
OLDSMAR, FL.



ZUENDT ENGINEERING
5405 WATER ST.
NEW PORT RICHEY, FL. 34652
CA92834
727-848-2921
JOB # 6228