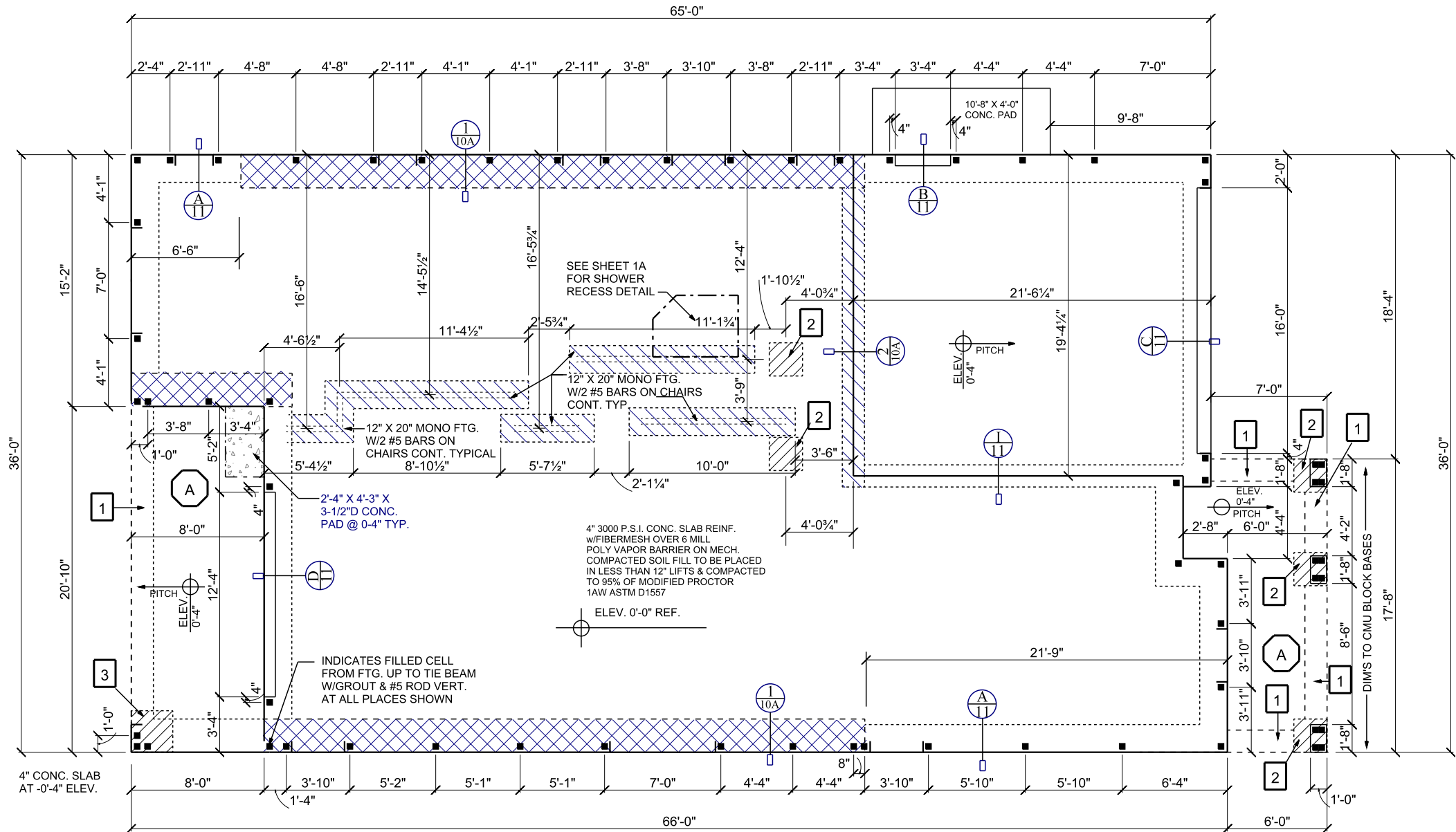


NOTES

- 1) NO SOILS INFORMATION PROVIDED. PRESUMED ALLOWABLE SOIL BEARING CAPACITY IS 2,000 P.S.F.
- 2) FOOTINGS TO BEAR MIN. 12" BELOW GRADE.
- 3) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
- 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
- 5) REFER TO STRUCTURAL ENGINEER NOTES.



1	RECESSED 16" X 16" CONC. FTG. W/(2) #5 BARS CONT. BETWEEN COLUMN PADS
2	24" X 24" X 20" CONC. PAD W/3 #5 REBARS EACH WAY
3	30" X 30" X 20" DEEP CONC. FTG. W/(3) #5 BARS EACH WAY
4	36" X 36" X 20" CONC. PAD W/4 #5 REBARS EACH WAY
5	40" X 40" X 20" CONC. PAD W/#5 BARS AT 6" O.C EACH WAY
6	48" X 48" X 20" D CONC. PAD W/#5 REBARS @ 6" O/C EACH WAY

 6" CRUSHED CONCRETE
OVER COMPACTED FILL
TO SUPPORT PAVERS

SEE SHEET 1A FOR FOUNDATION
PLUMBING & EXPANSION

PLAN 2969

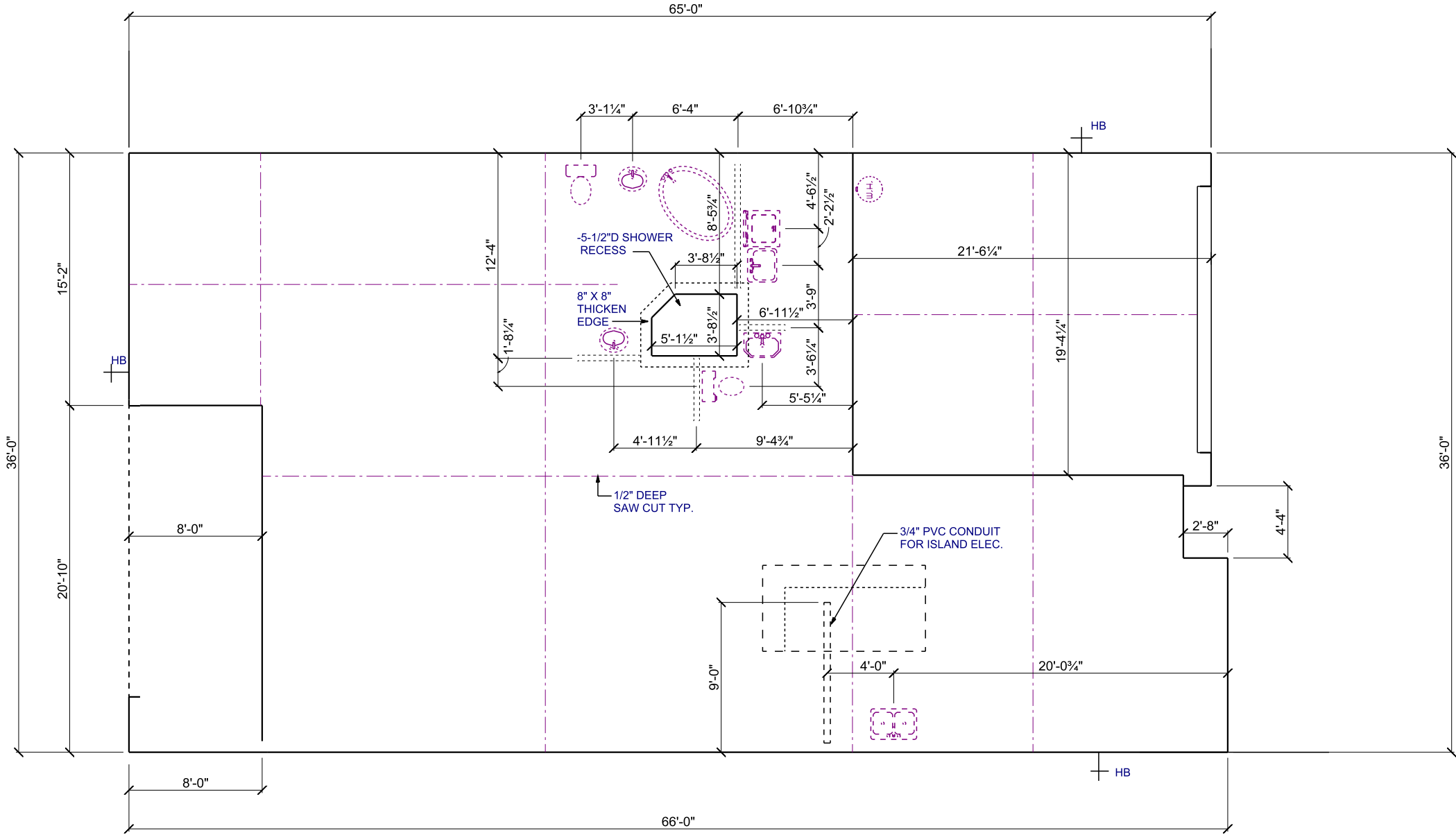
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2. PRELIMINARY PLAN/2ND FLR REV.
3. PRELIMINARY PLAN/GRILLE LOCATION REV.
4. 2ND FLR. WINDOW/CLOSET REVS.

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 145 MPH ULTIMATE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.

SIGNED _____
 RICHARD E. ALLEN P.E. #69020

**ALLEN ENGINEERING &
CONSTRUCTION SERVICES**
RICH ALLEN PROFESSIONAL ENGINEER
P.E. #56920 C.A. #9542
NEW PORT RICHEY, FL 34654
727-842-6100
richallenpe@gmail.com



FOUNDATION PLUMBING & EXPANSION PLAN SCALE: 1/8" = 1'-0" PLAN 2969

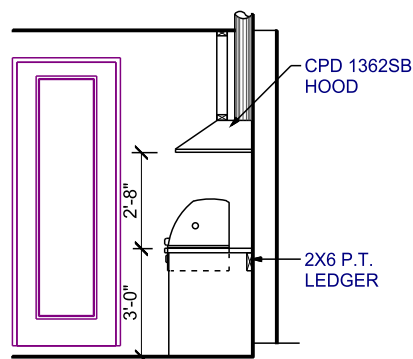
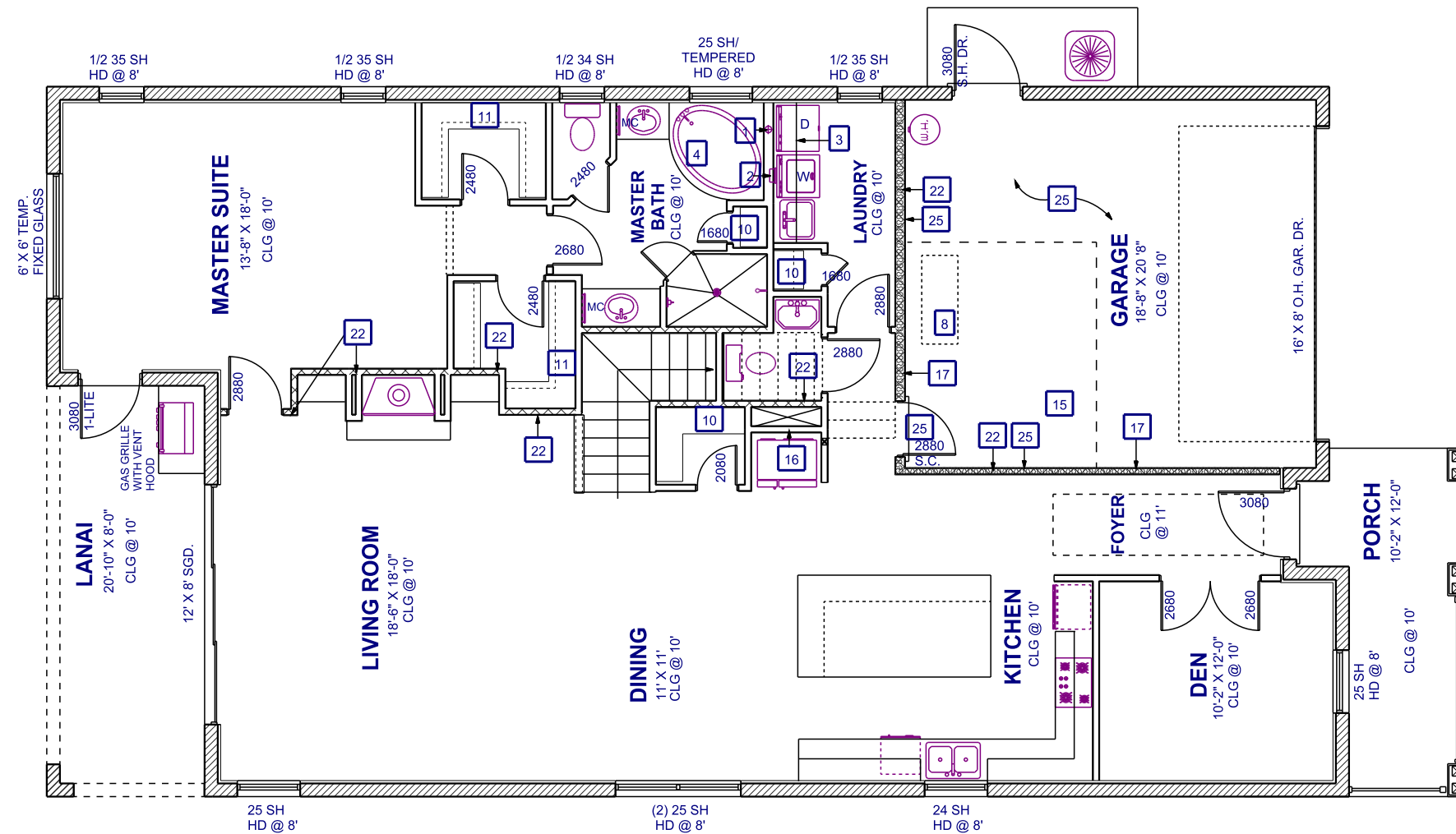
1A

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

PLAN DATE	
1. 05-11-2016	
2. 05-12-2016	
3. 05-17-2016	
4. 05-18-2016	
5. 05-25-2016	

LOT 16
SAFETY HARBOR
352 HAMILTON AVENUE

2. PRELIMINARY PLAN /2ND FLR REV.
3. PRELIMINARY PLAN - GRILLE LOCATION REV.
4. 2ND FLOOR WINDOW/CLOSET REVS.
5. STRUCT. ENG.


$$3/16'' = 1'-0''$$


- 1 DRYER VTR IN 6" WALL
- 2 HANSON BOX @ 42" AFF
- 3 12" WIRE SHELF @ 5'-6" AFF
- 4 TOP OF TUB PLATFORM @ 20" AFF
- 5 16" D TILED SHOWER SEAT @ 16" ABV. SHWR FLR
- 6 TOP OF TILED SHELF @ 20" AFF
- 7 TUB ACCESS
- 8 22" X 54" CLG ACCESS
- 9 22" X 36" CLG ACCESS
- 10 (4) 16" SHELVES
- 11 16" SHELF

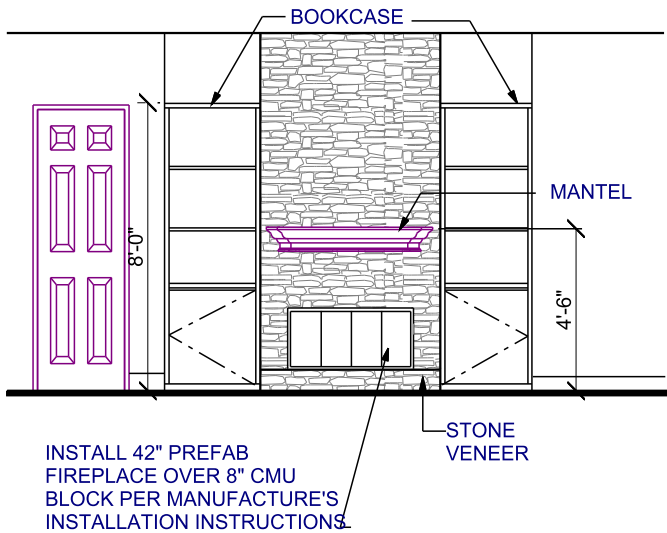
- | | |
|----|---|
| 12 | TOP OF BAR @ 42" AFF |
| 13 | TOP OF TEMPERED GLASS SHOWER ENCLOSURE @ 7' AFF |
| 14 | AIR HANDLER UNIT ON PLATFORM |
| 15 | AREA OF A/C TRUSSES |
| 16 | INSTALL 1/4" WATER LINE FOR ICEMAKER |
| 17 | R-13 BATT INSULATION |
| 18 | 16" W X 6" D FIREPLACE COLUMNS TYP. |
| 19 | COUNTERTOP @ 36" AFF/OPEN BELOW |
| 20 | 2850 TEMPERED F.G. HD @ 8' AFF |
| 21 | (4) 20" SHELVES |
| 22 | LOAD BEARING WALL |
| 23 | CHIMNEY CHASE |
| 24 | 22"D X 36" H BASE CABINET W/12" D
BOOKCASE ABOVE TO 8' AFF. |
| 25 | GARAGE SHALL HAVE MINIMUM FIRE
SEPARATIONS FOR WALLS, DOORS AND CEILINGS
PER FBC R302. GARAGE DOOR TO BE SELF
CLOSING PER FBC R302.5.1 |

MAIN FLR. LIVING AREA:	1762 S.F.
2ND FLR. LIVING AREA:	1207 SF
TOTAL LIVING AREA:	2969 SF
GARAGE:	416 S.F.
2ND FLR COV. DECK	232 S.F.
LANAL:	167 S.F.
ENTRY:	120 SF
TOTAL:	3904 SF

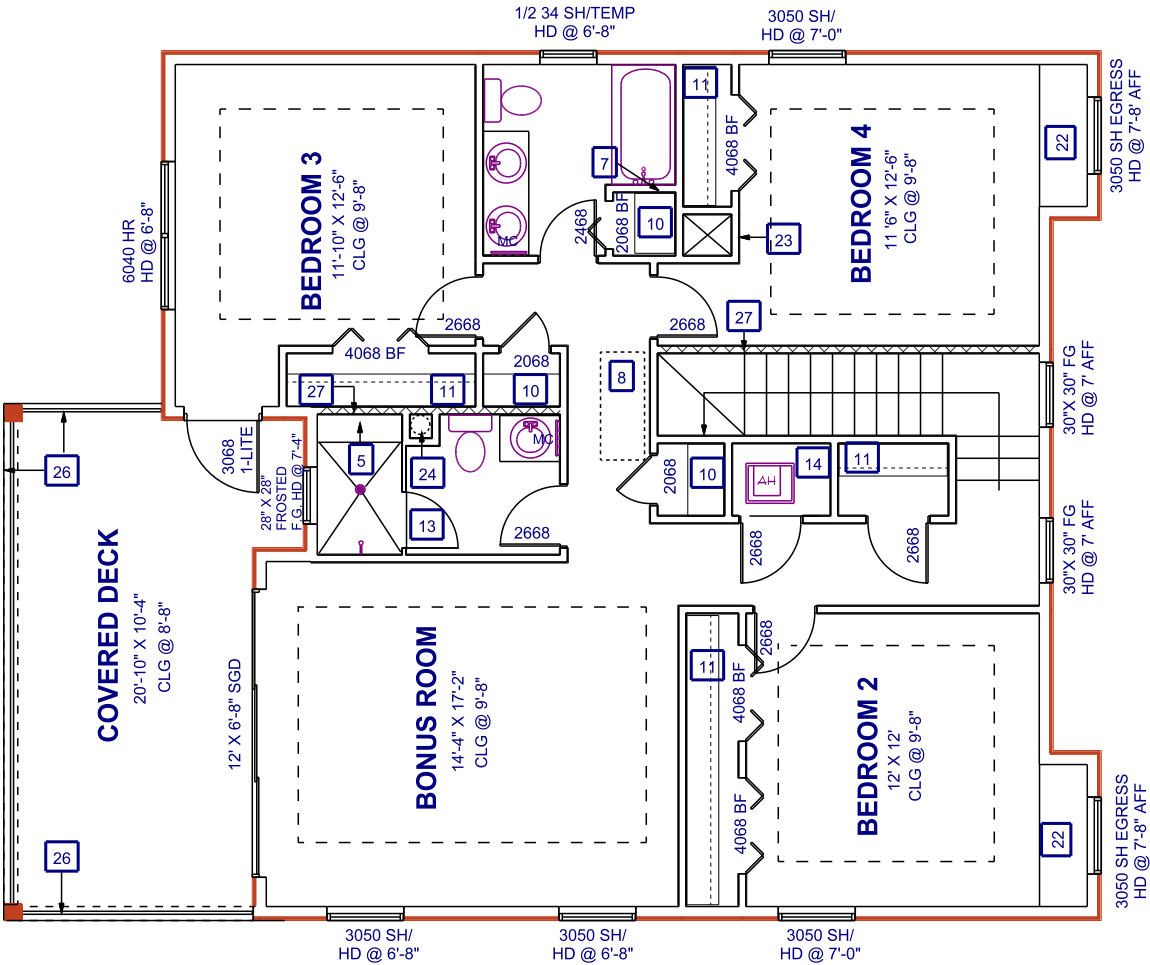
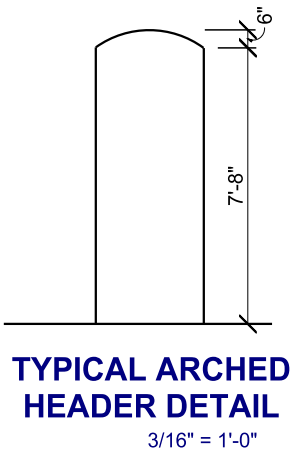
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FLOOR PLAN NOTES

- 1 DRYER VTR IN 6" WALL
- 2 HANSON BOX @ 42" AFF
- 3 12" WIRE SHELF @ 5'-6" AFF
- 4 TOP OF TUB PLATFORM @ 20" AFF
- 5 16" D TILED SHOWER SEAT @ 16" ABV. SHWR FLR
- 6 TOP OF TILED SHELF @ 20" AFF
- 7 TUB ACCESS
- 8 22" X 54" CLG ACCESS
- 9 22" X 36" CLG ACCESS
- 10 (4) 16" SHELVES
- 11 16" SHELF
- 12 TOP OF BAR @ 42" AFF
- 13 TOP OF TEMPERED GLASS SHOWER ENCLOSURE @ 7' AFF
- 14 AIR HANDLER UNIT ON PLATFORM
- 15 AREA OF A/C TRUSSES
- 16 INSTALL 1/4" WATER LINE FOR ICEMAKER
- 17 R-13 BATT INSULATION
- 18 16" W X 6" D FIREPLACE COLUMNS TYP.
- 19 COUNTERTOP @ 36" AFF/OPEN BELOW
- 20 2850 TEMPERED F.G. HD @ 8' AFF
- 21 (4) 20" SHELVES
- 22 WINDOW SEAT
- 23 A/C CHASE FROM CLG. TO FLOOR SYSTEM
- 24 CHIMNEY CHASE
- 25 RECESSED WALL NICHE: TOP @ 42" AFF
W/WALL BELOW, HEAD @ 7' AFF
- 26 42"H GUARDRAIL
- 27 LOAD BRNG. WALL



FAMILY ROOM WALL ELEVATION
3/16" = 1'-0"



NOTED 2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"

PLAN 2969

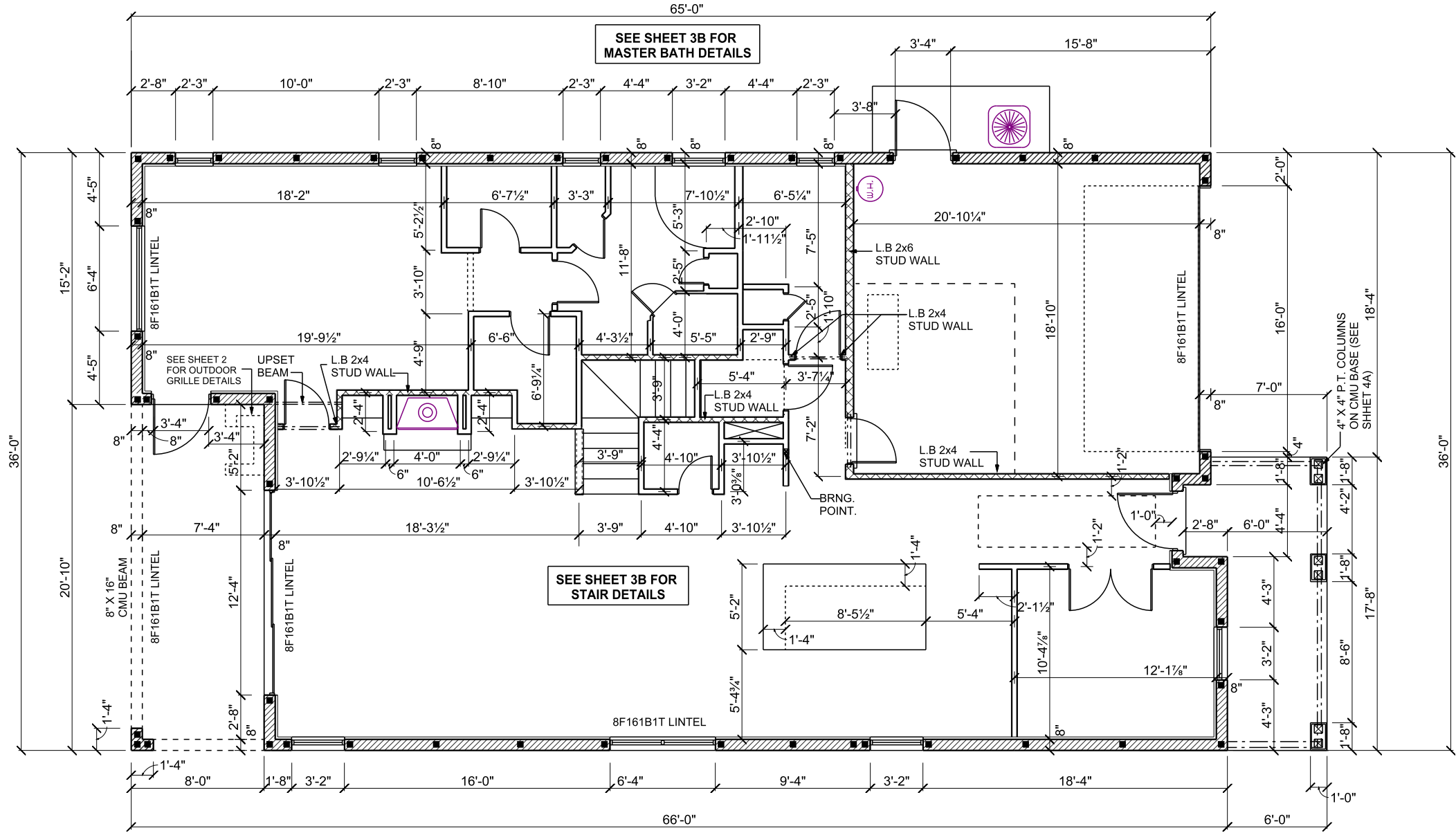
DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

PLAN DATE	
1.	05-11-2016
2.	05-12-2016
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5.	05-25-2016

LOT 16
SAFETY HARBOR
352 HAMILTON AVENUE

2. PRELIMINARY PLAN /2ND FLR REV.
3. PRELIMINARY PLAN - GRILLE LOCATION REV.
4. 2ND FLOOR WINDOW/CLOSET REVS.
5. STRUCT. ENG.

2A



DIMENSIONED FLOOR PLAN

SCALE: 1/8" = 1'-0"

A.E.C.S. #16045

PLAN 2969

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HOMES, LTD.
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NEW PORT RICHEY, FL. 34655

LOT 16
SAFETY HARBOR
352 HAMILTON AVENUE

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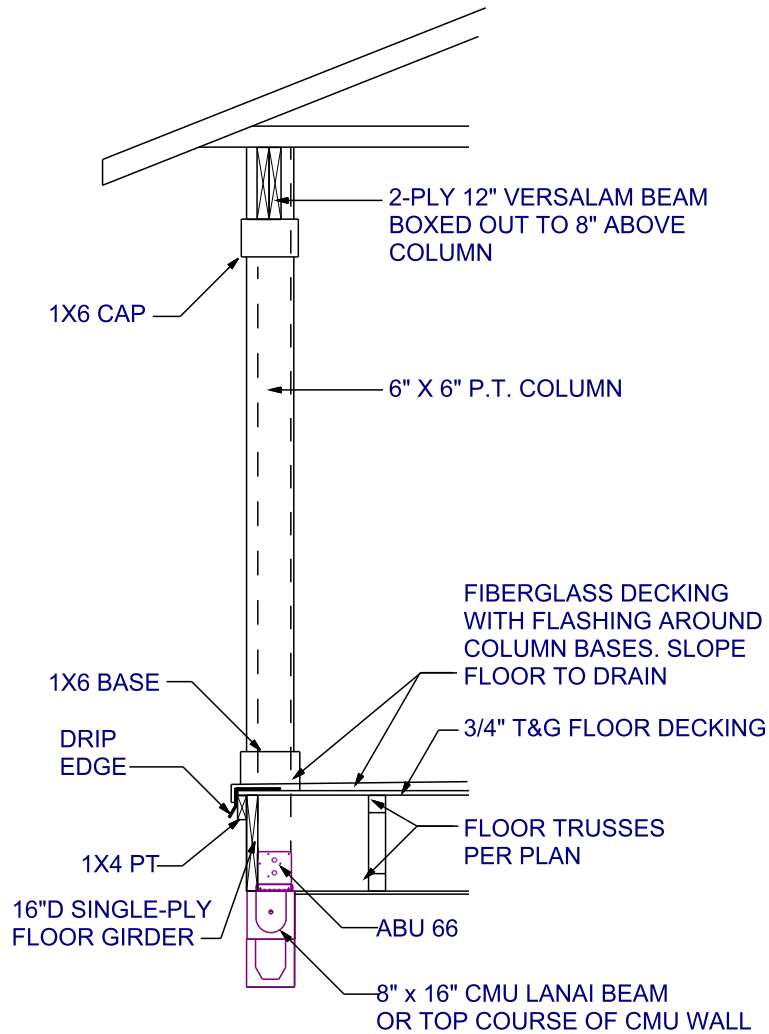
PLAN DATE

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I HEREBY CERTIFY THAT I HAVE
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SIGNED
RICHARD E. ALLEN P.E. #56920

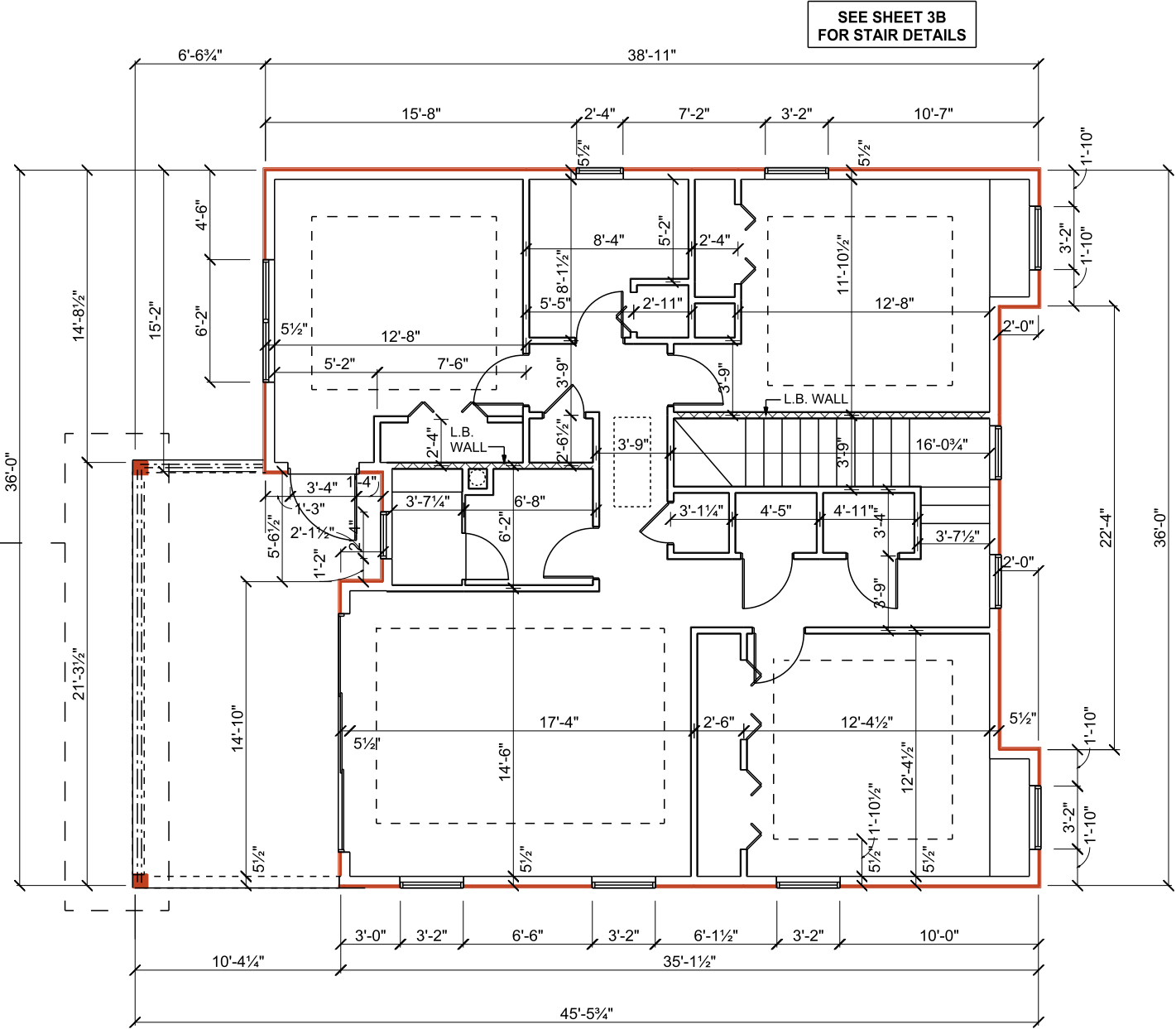
ALLEN ENGINEERING &
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richallenpe@gmail.com

3



PORCH COLUMN DETAIL

3/8" = 1'-0"



DIMENSIONED 2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"

A.E.C.S. #16045

PLAN 2969

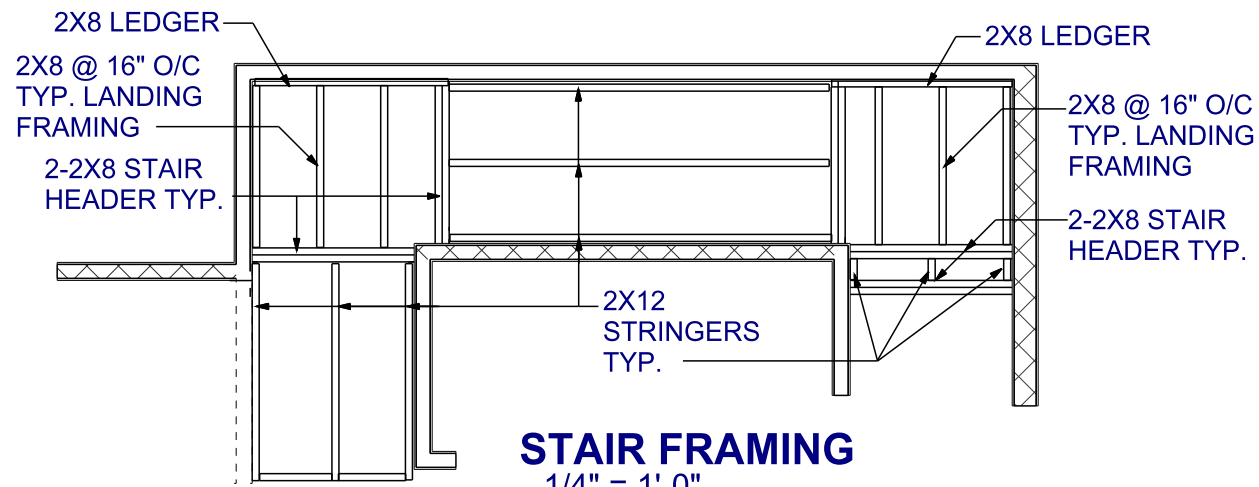
DEEB FAMILY
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9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

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5.	05-25-2016

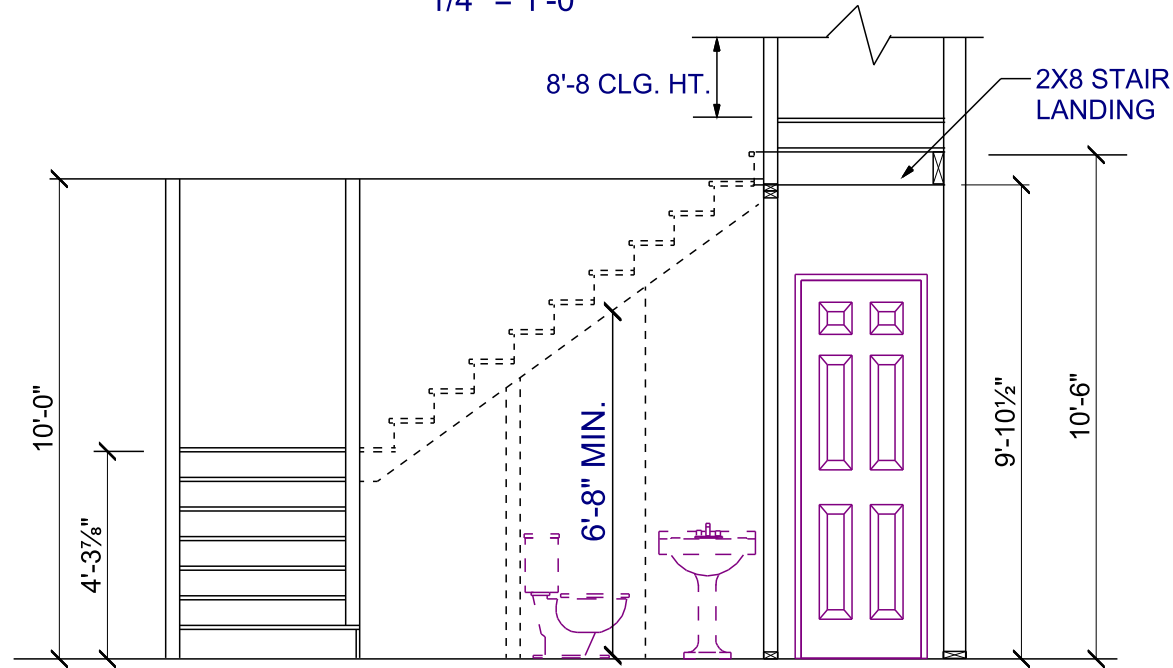
LOT 16
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352 HAMILTON AVENUE
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3. PRELIMINARY PLAN/GRILLE LOCATION REV.
4. 2ND FLR WINDOW/CLOSET REVS.
5. STRUCT. ENG.

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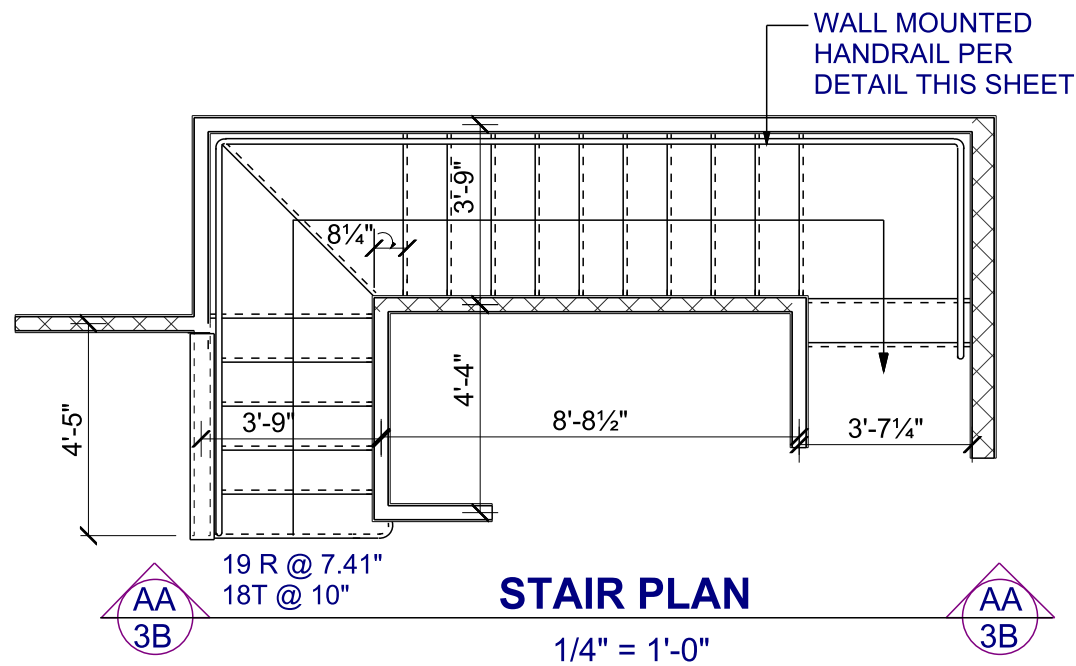
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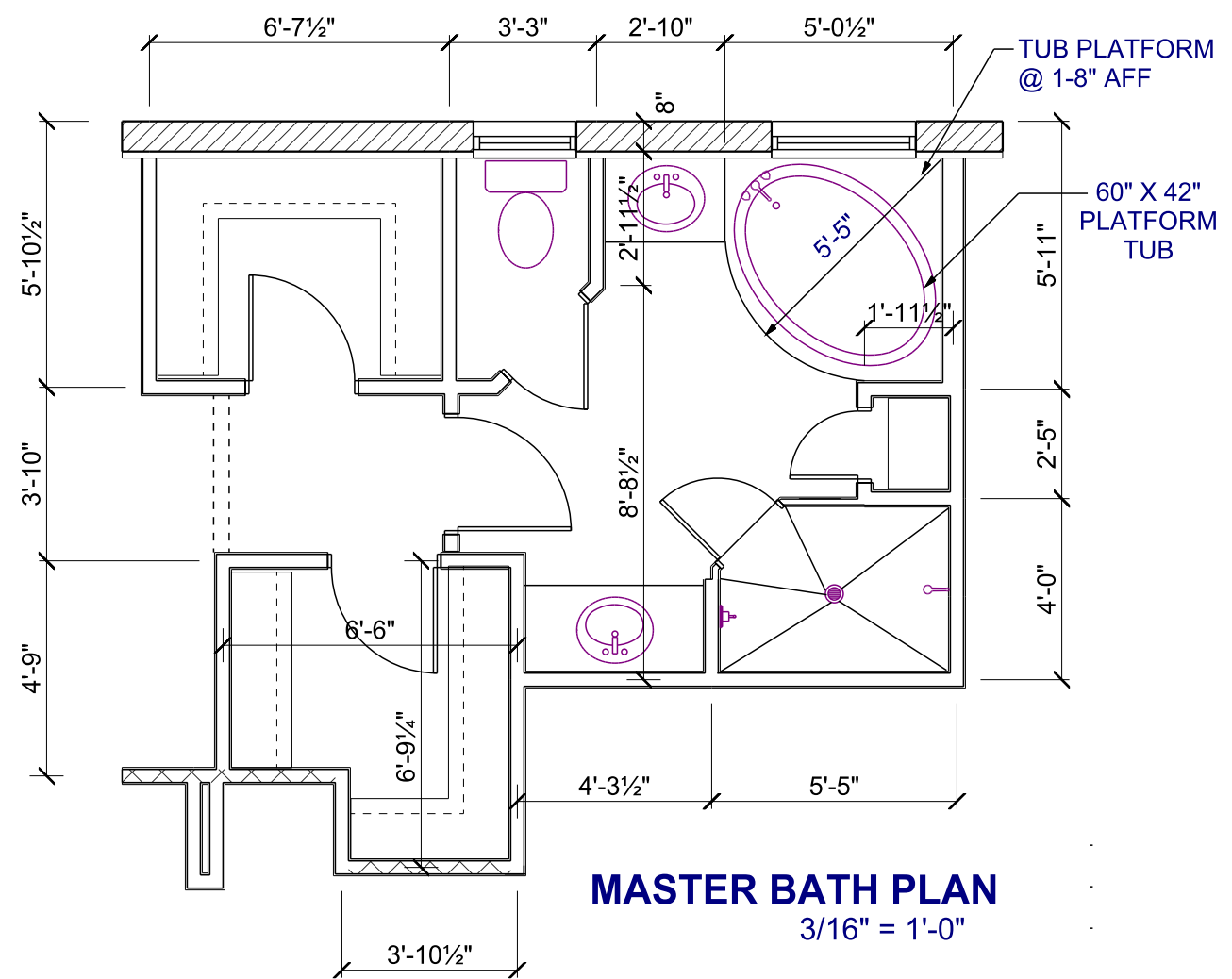
STAIR FRAMING
1/4" = 1'-0"



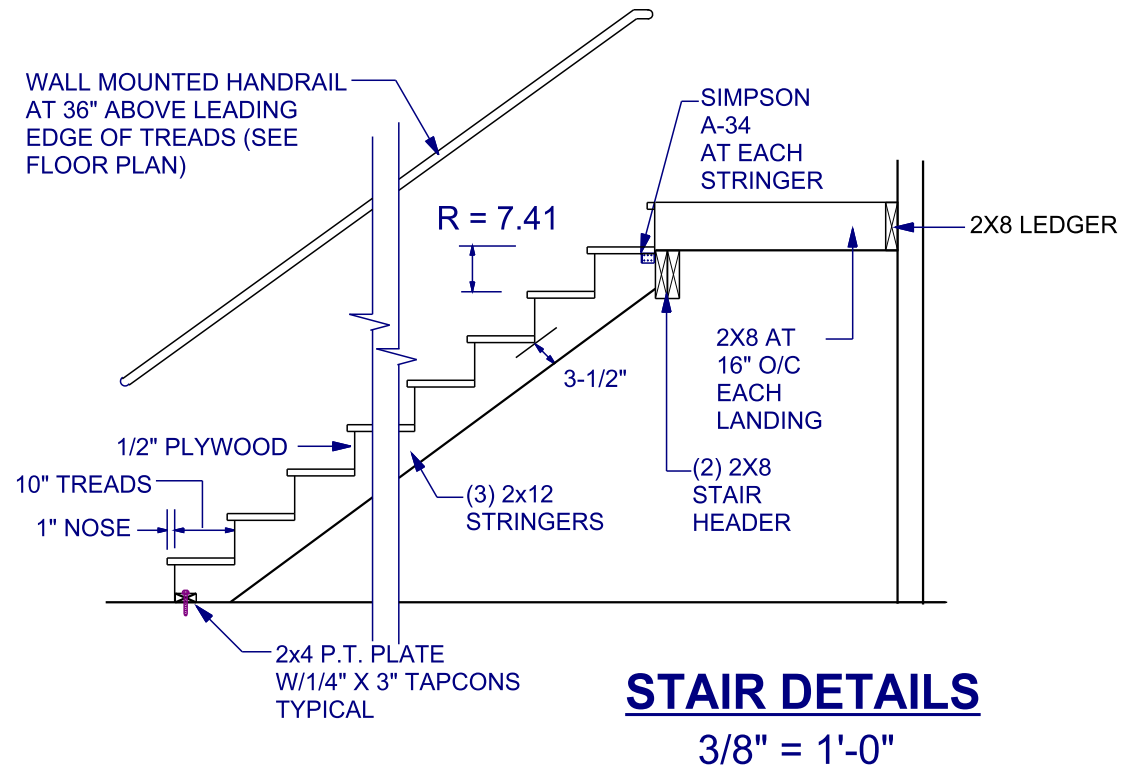
ELEVATION 'AA' 1/4" = 1'-0"



STAIR PLAN
1/4" = 1'-0"



MASTER BATH PLAN
3/16" = 1'-0"



STAIR DETAILS
3/8" = 1'-0"

PLAN DETAILS

SCALE: 1/8" = 1'-0"

A.E.C.S. #16045

PLAN 2969

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
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LOT 16
SAFETY HARBOR
352 HAMILTON AVENUE

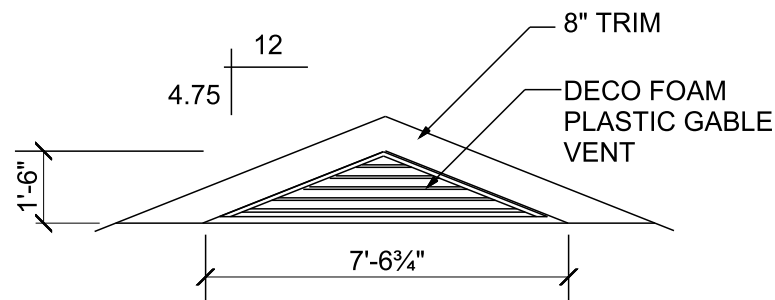
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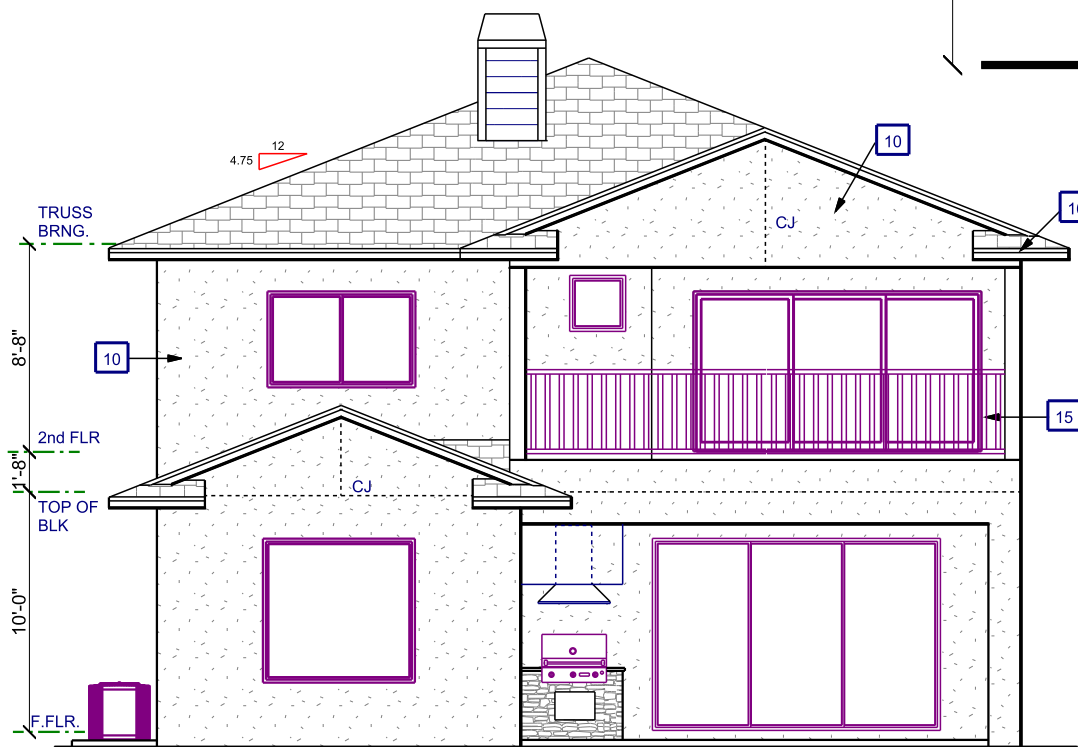
I HEREBY CERTIFY THAT I HAVE
PERFORMED THE PROFESSIONAL DESIGN
AND CALCULATIONS FOR THE ABOVE
PROJECT AND THAT I AM A LICENSED
IN COMPLIANCE WITH CHAPTER 16 OF
THE 2014 FLORIDA BUILDING CODE.
SEALED FOR THE STRUCTURE ONLY.
SIGNED
RICHARD E. ALLEN P.E. #56920

3B

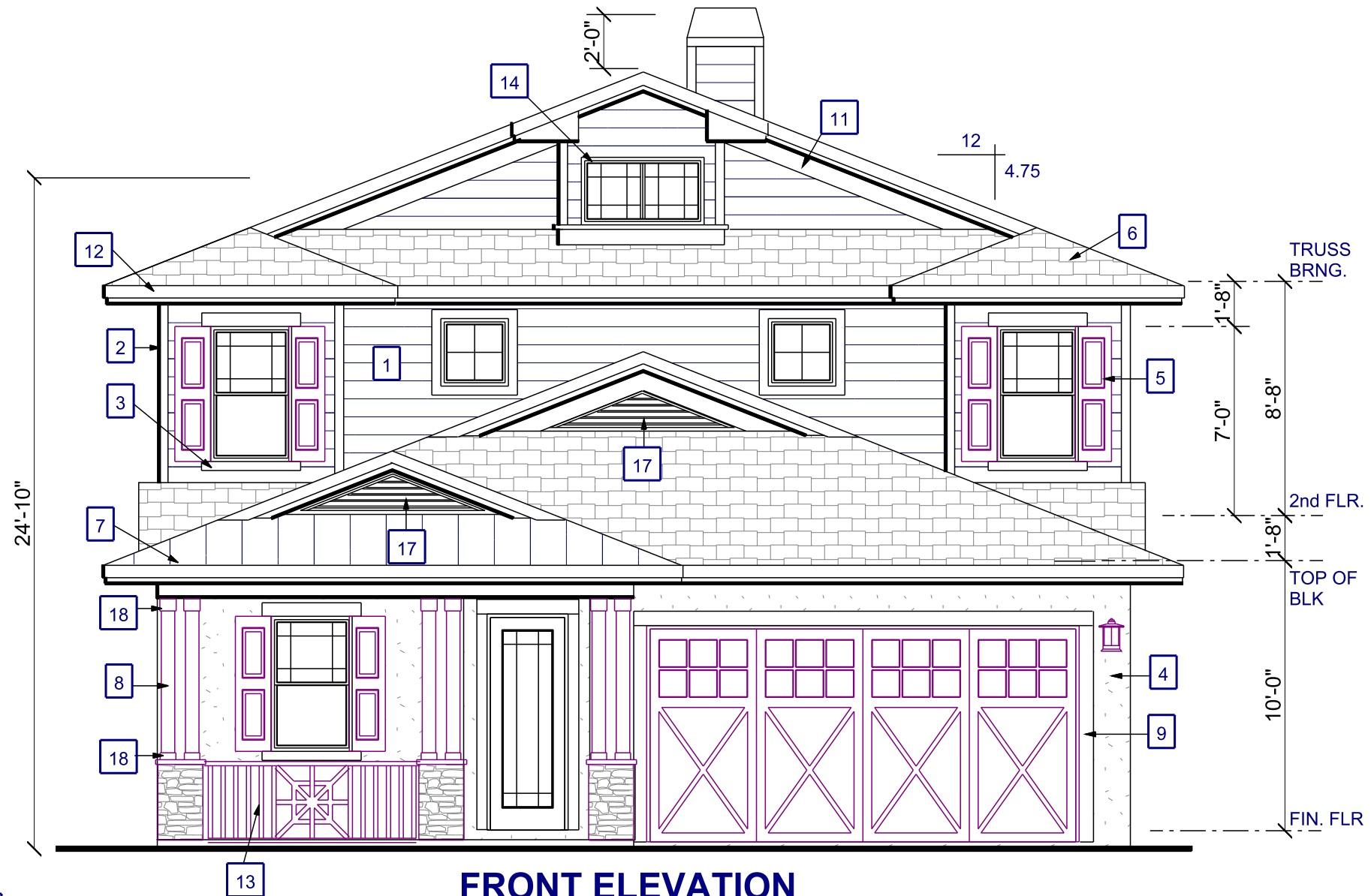


NOTE: FIELD VERIFY
GABLE CLEARANCES
PRIOR TO FABIRCATION

DECO GABLE VENT DETAIL



REAR ELEVATION



FRONT ELEVATION

3/16" = 1'-0"

ELEVATION NOTES

- 1 HORIZONTAL 8" LAP CEMENT BOARD SIDING
- 2 CEMENT BOARD CORNER TRIM
- 3 4" CEMENT BOARD TRIM
- 4 5/8" STUCCO OVER CMU
- 5 16" W PLASTIC DECORATIVE WINDOW SHUTTERS
- 6 DIMENSIONAL FIBERGLASS SHINGLES
- 7 5V CRIMP GALV. METAL ROOF
- 8 6" X 6" SQUARE COLUMNS
ON 32" W X 12"D CMU BASE
W/FAUX STONE VENEER (4) SIDES
- 9 6" SMOOTH BANDING
- 10 7/8" STUCCO FINISH PER ASTM C-926-11a
ON PAPER BACKED METAL LATH OVER
TYVEK (OR EQUIVALENT) VINYL VAPOR
BARRIER ON EXTERIOR WOOD SHEATHING
- 11 FRIEZE BOARD W/8" REVEAL
- 12 3-LAYER FASCIA (TYP. FRONT ELEV)
- 13 PRE-FAB DECO METAL PORCH RAILING
- 14 54" X 30" FIXED GLASS (BLACKED OUT)
- 15 42" H METAL GUARD RAILING
- 16 2-LAYER FASCIA
- 17 DECO TRIANGULAR LOUVER
PER DETAIL THIS SHEET
- 18 6" H COLUMN CAP AND BASE

FRONT AND REAR ELEVATIONS

SCALE: 1/8" = 1'-0"

A.E.C.S. #16045

PLAN 2969

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

4

PLAN DATE

1. 05-11-2016
2. 05-12-2016
3. 05-17-2016
4. 05-18-2016
5. 05-25-2016

LOT 16
SAFETY HARBOR
352 HAMILTON AVENUE

2. PRELIMINARY PLAN/2ND FLR REV.
3. PRELIMINARY PLAN/GRILLE LOCATION REV.
4. 2ND FLR WINDOW/CLOSET REVS.
5. STRUCT. ENG.

I HEREBY CERTIFY THAT I HAVE
PERFORMED THE ATTACHED DESIGN
IN ACCORDANCE WITH THE FLORIDA
BUILDING CODE, CHAPTER 63, PART
IX, IN COMPLIANCE WITH CHAPTER 160F
OF THE 2014 FLORIDA BUILDING CODE.
SEALED FOR THE STRUCTURE ONLY.
SIGNED
RICHARD E. ALLEN P.E. #56920

ALLEN ENGINEERING &
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RICH ALLEN PROFESSIONAL ENGINEER
P.E. #56920 C.A. #9542
NEW PORT RICHEY, FL 34654
727-842-6100
richallenpe@gmail.com

NAILING SCHEDULE

SP1: 4- 10d TO PLATE
6 -10d TO STUD
H10: 8-8d X 1 1/2" TO TRUSS & TOP PLATE
H2: 5-8d
META16: 6-16d
CS16: 20-10d
HTS20: 20-10d
MSTAM36: 4-1/4" x 1 3/4" TAPCONS

DBL 2x12 SYP W/2
ROWS 10d NAILS
@ 12" O/C TYP.

(2) LCE4
+ MTS16

4" X 4" P.T.
POST TYP.

ABU 44 POST
BASE TYPICAL
W/ 5/8" X 6"
WEDGE ANCHORS

2'-8"

FIN. FLR.

CMU COLUMN
BASES TYP.

1'-8"

(2) LCP6Z
+ MTS16

(2) LCE4
+ MTS16

AA
4A

AA
4A

PORCH COLUMN ELEVATION

HU210-2 TYP.

DBL 2x12 SYP W/2
ROWS 10d NAILS
@ 12" O/C TYP.

BOX BEAM
TO 8"

10'-0"

2'-8"

BOX COLUMNS TO 6" X 6"
TYPICAL (6 LOCATIONS)

ABU 44 POST
BASE TYPICAL

1'-0"

'AA/4A' SECTION AT COLUMN

NOTE: ALL NON STRUCTURAL LUMBER
IS TO BE SOUTHERN PINE FIR U.N.O.

PORCH COLUMN DETAILS

SCALE: 3/8" = 1'-0"

A.E.C.S. #16045

PLAN 2969

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HOMES, LTD.
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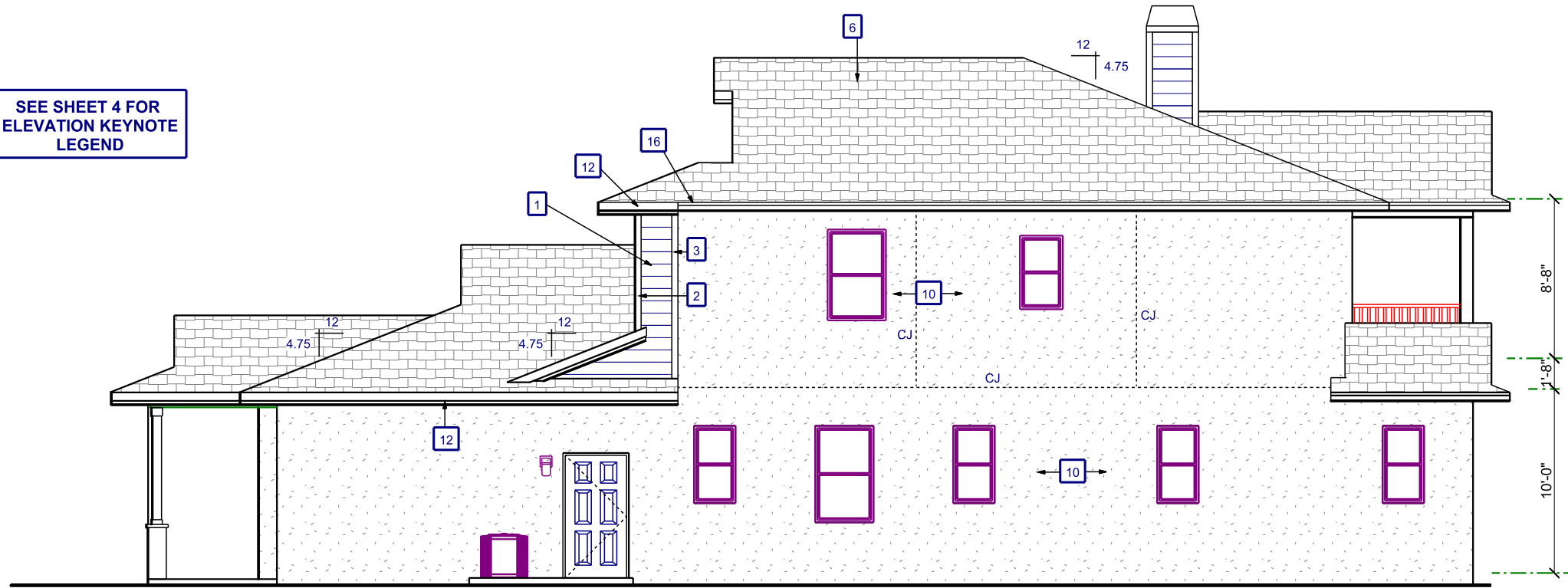
LOT 16
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352 HAMILTON AVENUE
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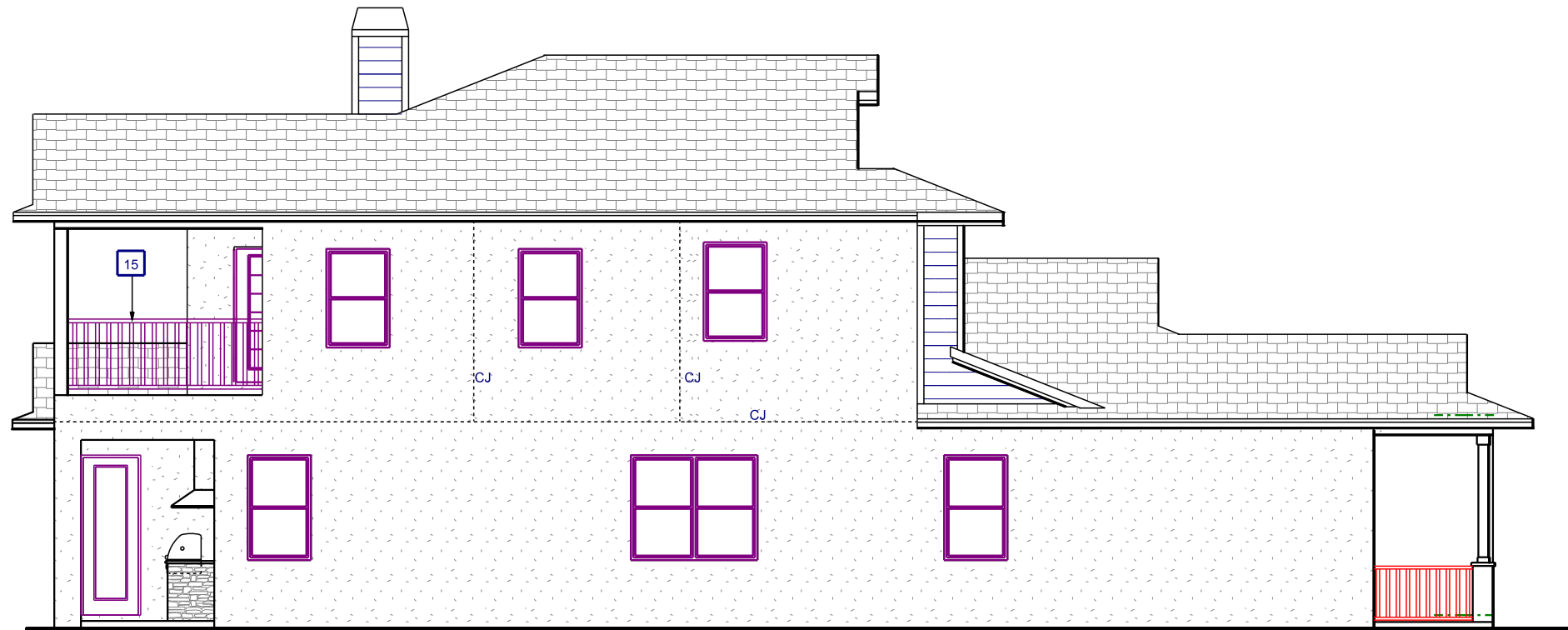
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4A

SEE SHEET 4 FOR
ELEVATION KEYNOTE
LEGEND



RIGHT ELEVATION



LEFT ELEVATION

SIDE ELEVATIONS

SCALE: 1/8" = 1'-0"

PLAN 2969

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

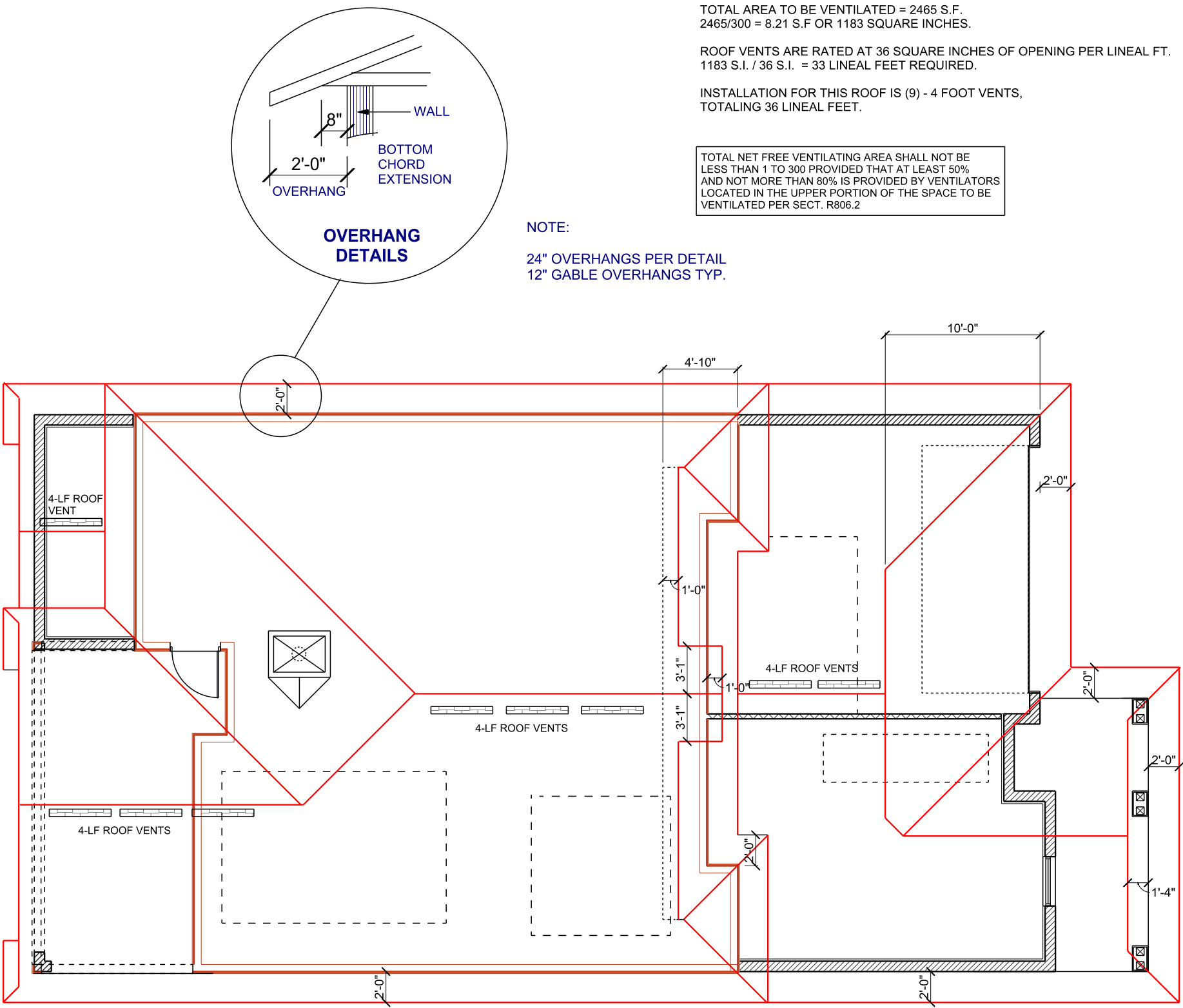
LOT 16
SAFETY HARBOR
352 HAMILTON AVENUE

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5. 05-25-2016

5



TOTAL AREA TO BE VENTILATED = 2465 S.F.
2465/300 = 8.21 S.F OR 1183 SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.
1183 S.I. / 36 S.I. = 33 LINEAL FEET REQUIRED.

INSTALLATION FOR THIS ROOF IS (9) - 4 FOOT VENTS,
TOTALING 36 LINEAL FEET.

TOTAL NET FREE VENTILATING AREA SHALL NOT BE
LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50%
AND NOT MORE THAN 80% IS PROVIDED BY VENTILATORS
LOCATED IN THE UPPER PORTION OF THE SPACE TO BE
VENTILATED PER SECT. R806.2

NOTE:
24" OVERHANGS PER DETAIL
12" GABLE OVERHANGS TYP.

ROOF PLAN

SCALE: 1/8" = 1'-0"

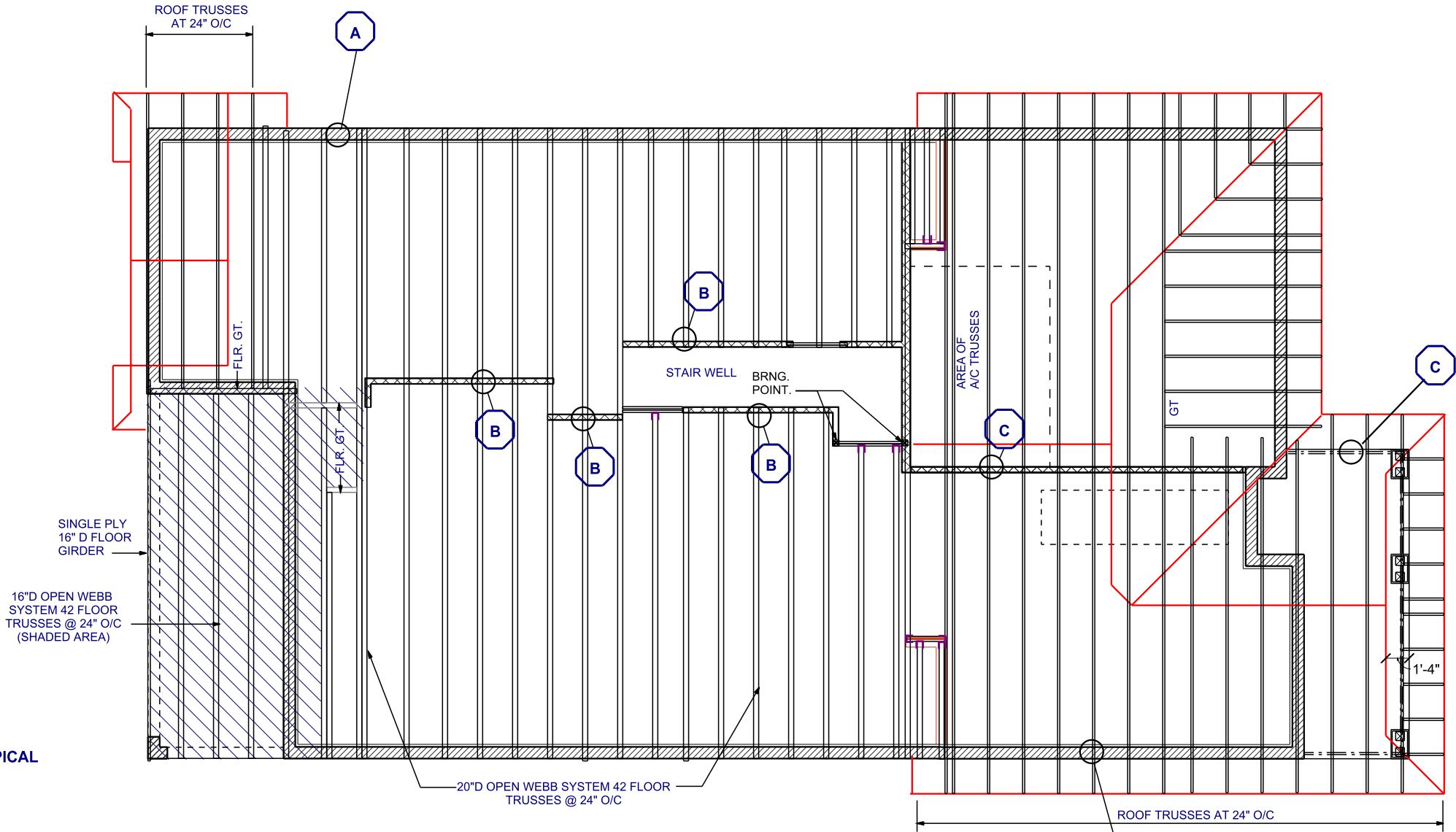
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LOT 16
SAFETY HARBOR
352 HAMILTON AVENUE
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5. 05-25-2016	

- A META24 TYPICAL
- B H3 TYPICAL
- C H10 TYPICAL
- D 2-PLY 20" VERSALAM
- E HUCQ412-SDS
- F 4X4 PT COLUMN W/ABU44 W/(2) MTS16 TO BEAM



THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPARATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

TRUSS PLAN

SCALE: 1/8" = 1'-0"

A.E.C.S. #16045

PLAN 2969

6A

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

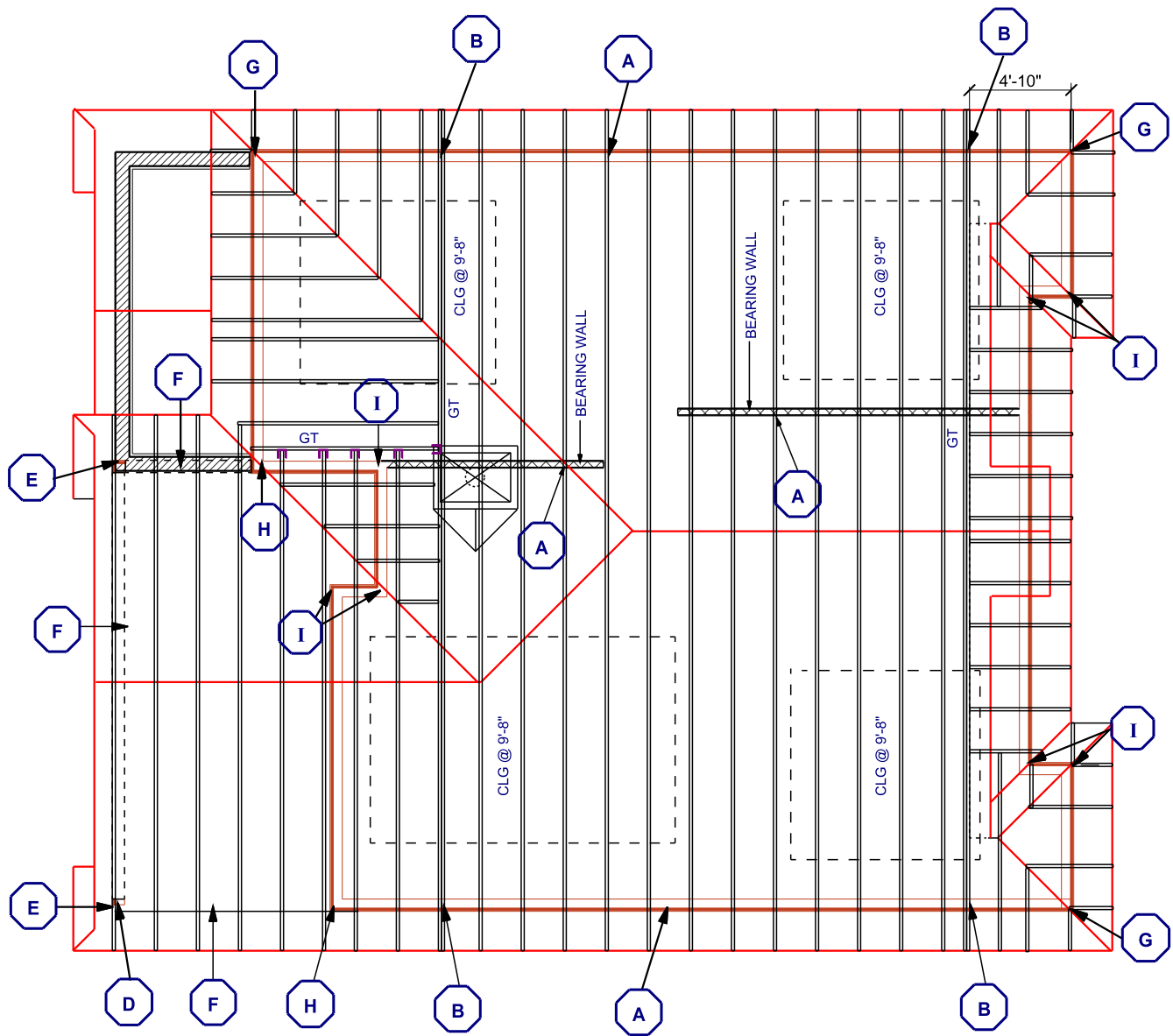
PLAN DATE				
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I HEREBY CERTIFY THAT I HAVE
PERSONALLY EXAMINED THE DESIGN
AND CONSTRUCTION OF THE STRUCTURE
TO VERIFY THAT IT IS IN ACCORDANCE
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SEALED FOR THE STRUCTURE ONLY.
SIGNED
RICHARD E. ALLEN P.E. #56920

ALLEN ENGINEERING &
CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
P.E. #56920 C.A. #9542
NEW PORT RICHEY, FL 34654
727-842-6100
richallenpe@gmail.com

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPARATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.



- A H10 TYP.
- B LGT2 WDBL STUD COLUMN & (2) MTSTAM36 TO CONC.
- C 6x6 P.T. COLUMN W(2) HTS16
- D WRAP BEAM & COLUMNS W(2) CS16 TYP.
- E 6x6 P.T. COLUMN W(2) ACE4 & (2) HTS16 TYP. AND MSTCM60 TO CONC.
- F 2-PLY 12" VERSALAM W/2 ROWS 10d @ 12" O/C

- G 5-STUD CORNER COLUMN W(3) MSTAM36 TO CMU
- H POCKET FRAME 5-STUD CORNER COLUMN W(3) JACKS FOR BEAM + (2) KINGS W(2) MSTCM40 TO CMU W(3) CS16 TO BEAM

- I 5-STUD CORNER COLUMN W(2) CS16 TO FLOOR TRUSS BELOW

2ND FLOOR TRUSS PLAN

SCALE: 1/8" = 1'-0"

A.E.C.S. #16045

PLAN 2969

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

PLAN DATE	
1.	05-11-2016
2.	05-12-2016
3.	05-17-2016
4.	05-18-2016
5.	05-25-2016

LOT 16
SAFETY HARBOR
352 HAMILTON AVENUE
2. PRELIMINARY PLAN/2ND FLR REV.
3. PRELIMINARY PLAN/GRILLE LOCATION REV.
4. 2ND FLR. WINDOW/CLOSET REVS.
5. STRUCT. ENG.

I HEREBY CERTIFY THAT I HAVE
PERFORMED THE ATTACHED DESIGN
TO COMPLY WITH 145 MPH ULTIMATE
WIND LOADS, EXPOSURE B AND IT IS
IN ACCORDANCE WITH THE 2014 FLORIDA BUILDING CODE
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6B

\$

SINGLE POLE SWITCH

2

DOUBLE POLE SWITCH

3

THREE WAY SWITCH

4

FOUR WAY SWITCH

\$

DIMMER SWITCH

○

CEILING FIXTURE

○

SCONCE (WALL MOUNTED FIXTURE)

⊕

110V DUPLEX OUTLET

⊕

SWITCHED OUTLET (1/2)

⊕

GROUND FAULT INTERRUPT OUTLET

⊕

WATER PROOF GFI OUTLET

⊕

220V OUTLET

⊕

SPECIAL SERVICES OUTLET

⊕

TV CABLE OUTLET

⊕

TELEPHONE CABLE OUTLET

○

RECESSED LIGHTING

⊕

WATER PROOF RECESSED LIGHTING

⊕

BATH FAN

⊕

BATH FAN WITH LIGHT

⊕

SMOKE DETECTOR/CARBON MONOXIDE DETECTOR.

⊕

FLOOD LIGHT

⊕

PUSH BUTTON

CHIMES

CHIMES/DOOR BELL

DISC

DISCONNECT SWITCH

SP

SPEAKER PREWIRE

JB

JUNCTION BOX

T

THERMOSTAT

⬡

LOW VOLTAGE LIGHTING

C

INTERCOM

⊕

CEILING FAN

—

TRACK LIGHTING

—

FLUORESCENT LIGHTING

G

GAS DROP

UNLESS OTHERWISE NOTED:

- ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISH FLOOR TO CENTERLINE OF THE BOX TO BE 12" A.F.F. (GENERAL)

KITCHEN: 42"
BATHROOM: 42"
LAUNDRY: 36" WASHER/24" DRYER/
WALL OUTLETS @ 45"
EXTERIOR: WATERPROOF @ 12"
GARAGE: GFI @ 45"
RANGE: 220V @ 4"
- ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE
- ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F
- ELECTRICAL PLAN INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL ELECTRICAL WIRING AND ACCESSORIES.
- SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH 2014 FLORIDA RESIDENTIAL CODE, SECTION 314, AND WITH UL 317 AND NFPA 772.
- PROVIDE ARC FAULT INTERRUPTERS PER 2008 NEC. 210.12
- ALL RECEPTACLES TO BE TAMPER PROOF PER NEC. SECT. 406.11

FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

PLAN 2969

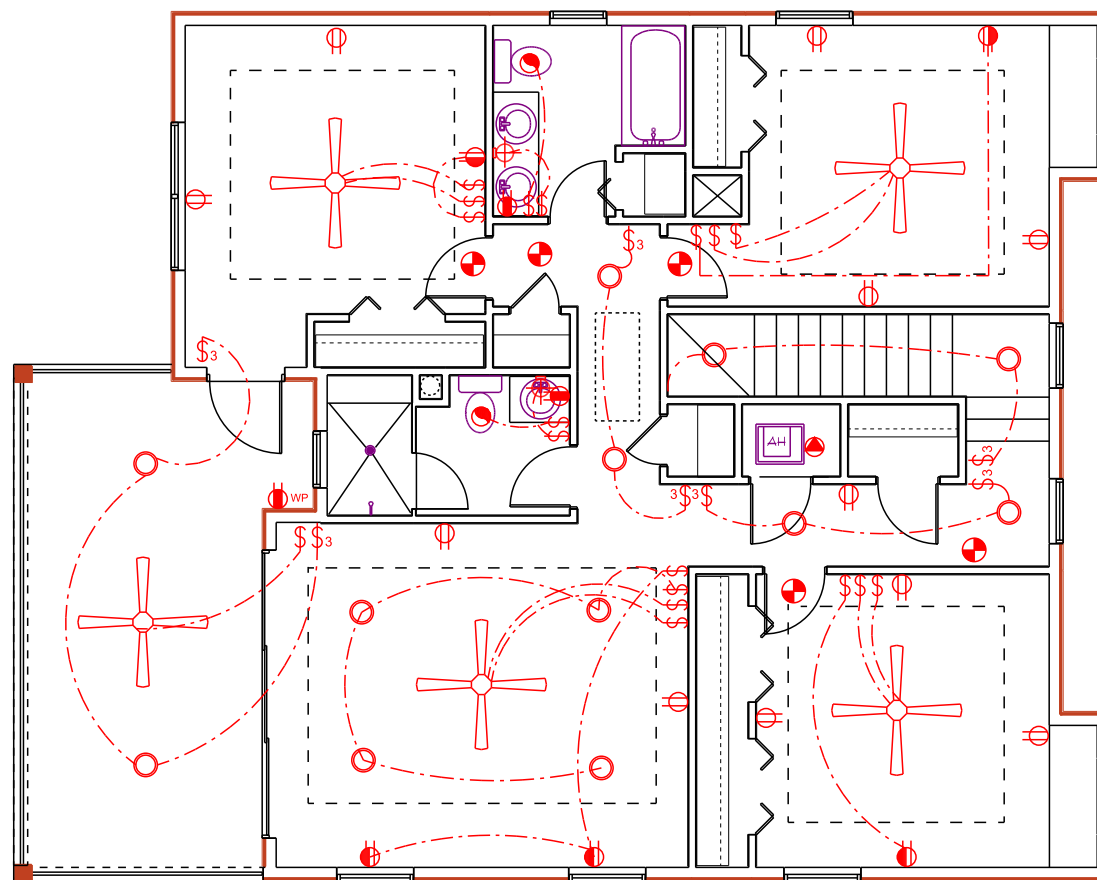
DEEB FAMILY
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9400 RIVER CROSSING BLD.
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LOT 16
SAFETY HARBOR
352 HAMILTON AVENUE

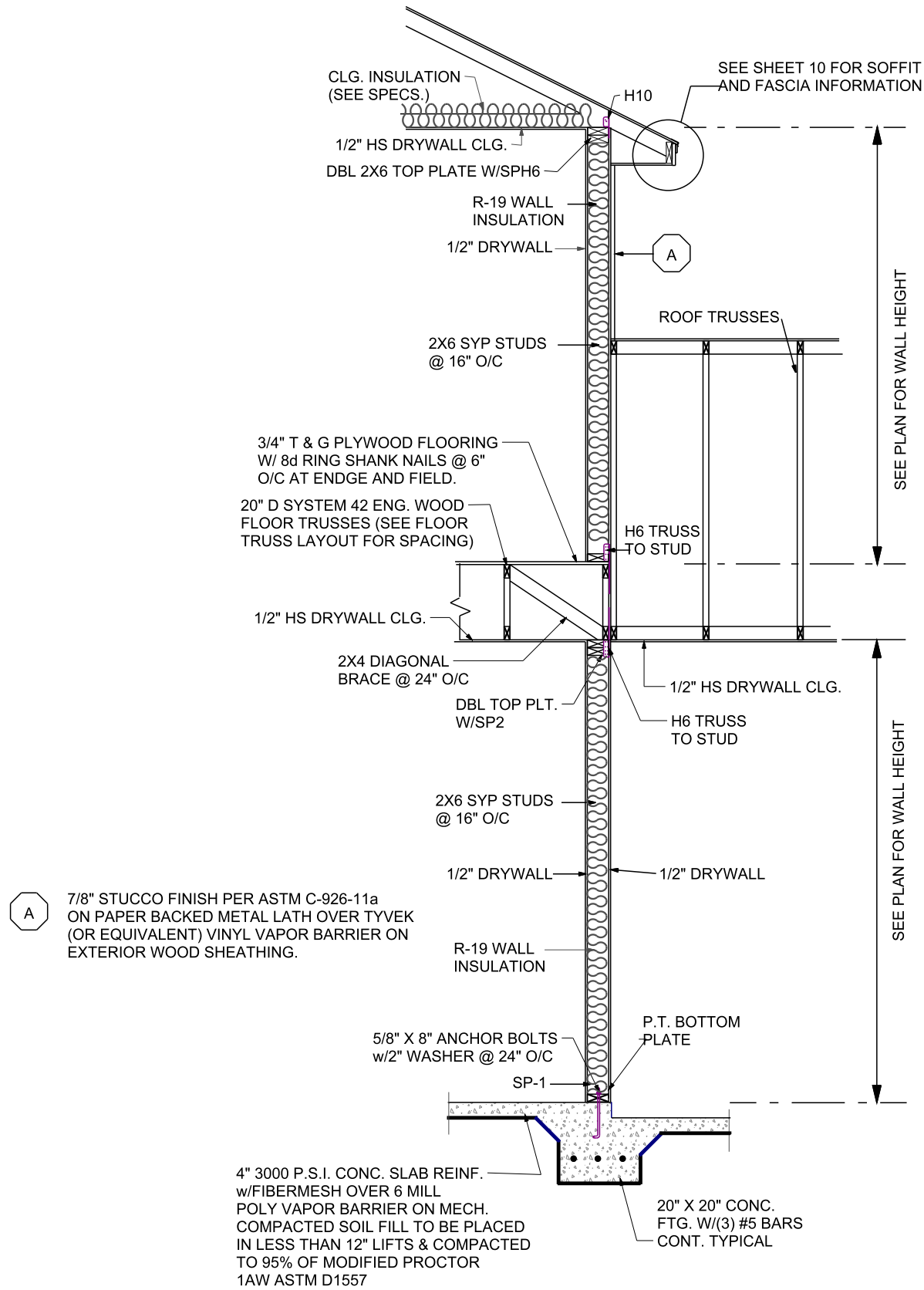
2. PRELIMINARY PLAN /2ND FLR REV.
3. PRELIMINARY PLAN - GRILLE LOCATION REV.
4. 2ND FLOOR WINDOW/CLOSET REVS.
5. STRUCT. ENG.

7

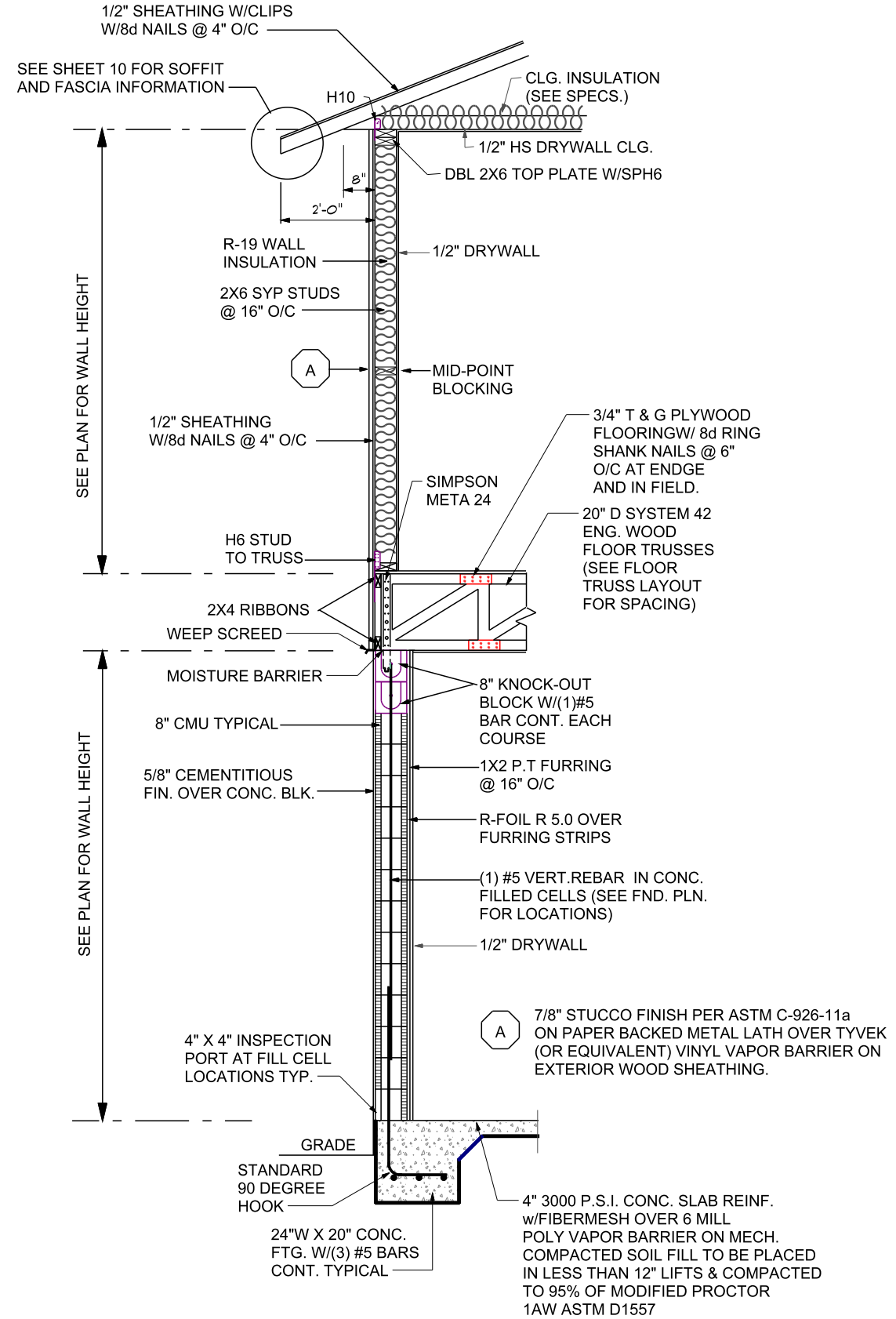


7. ALL RECEPTACLES TO BE TAMPER PROOF
PER NEC. SECT. 406.11

7A



2-STY INTER. FRAME BRNG. WALL ②
FLOOR TRUSSES PARALLEL



1 TYP. 2-STORY WALL SECT.

CONSTRUCTION SECTIONS

SCALE: 3/8" = 1'-0"

A.E.C.S. #16045

PLAN 2969

10A

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5. STRUCT. ENG.

I HEREBY CERTIFY THAT I HAVE PREPARED THIS DESIGN TO COMPLY WITH ALL APPLICABLE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.
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