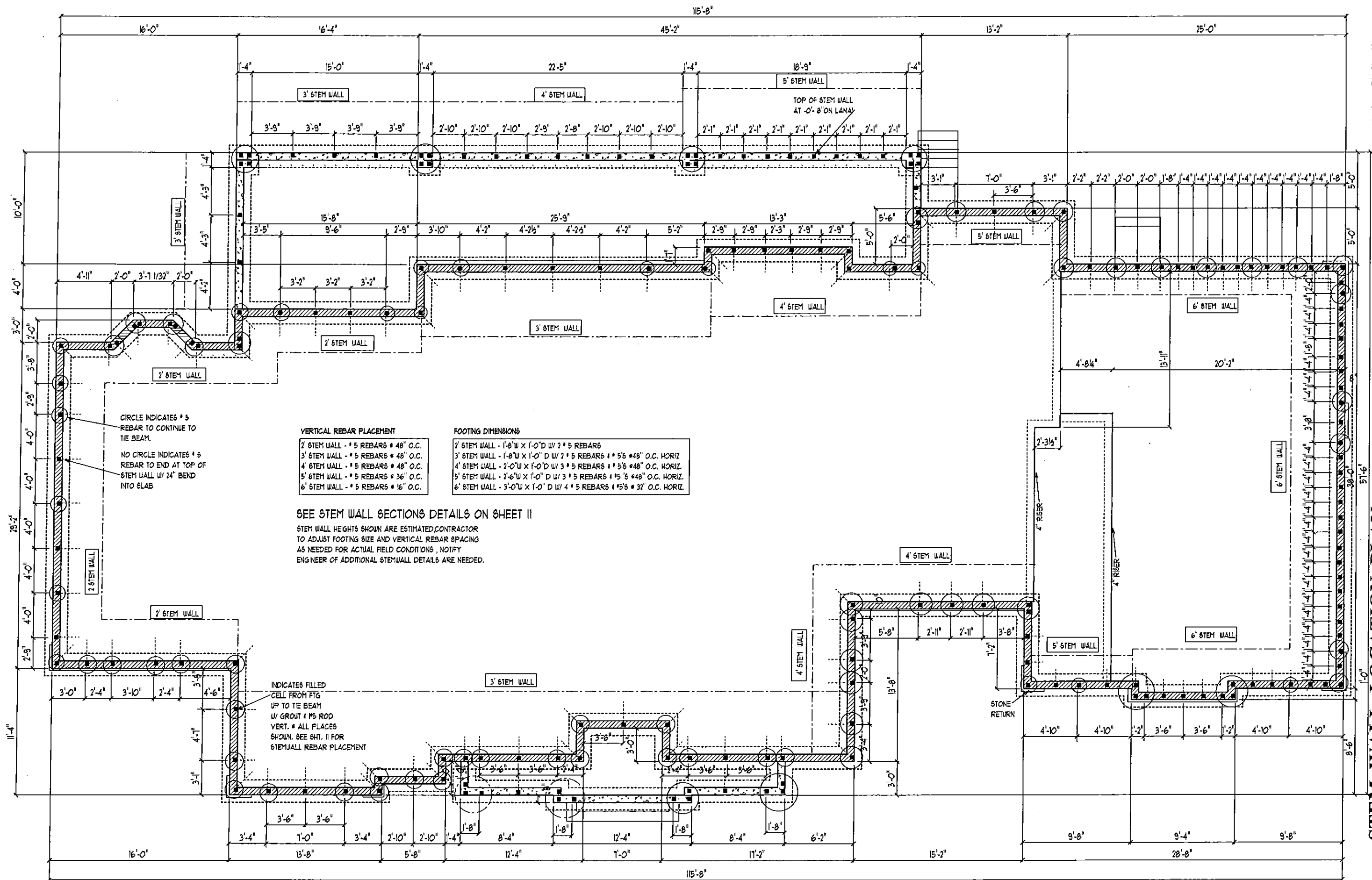




STEM WALL LOCATION PLAN

SCALE 1/8" = 1'-0"

**MINIERI RESIDENCE
LOT 129 AUTUMN WOODS
UNIT II
TARPON SPRINGS, FL.**

**DEEB FAMILY
HOMES, LTD.**
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

PLAN DATE
11-10-14
11-20-14
11-26-14
1-5-15
1-5-15
02-24-15
03-10-15
03-30-15
04-17-15

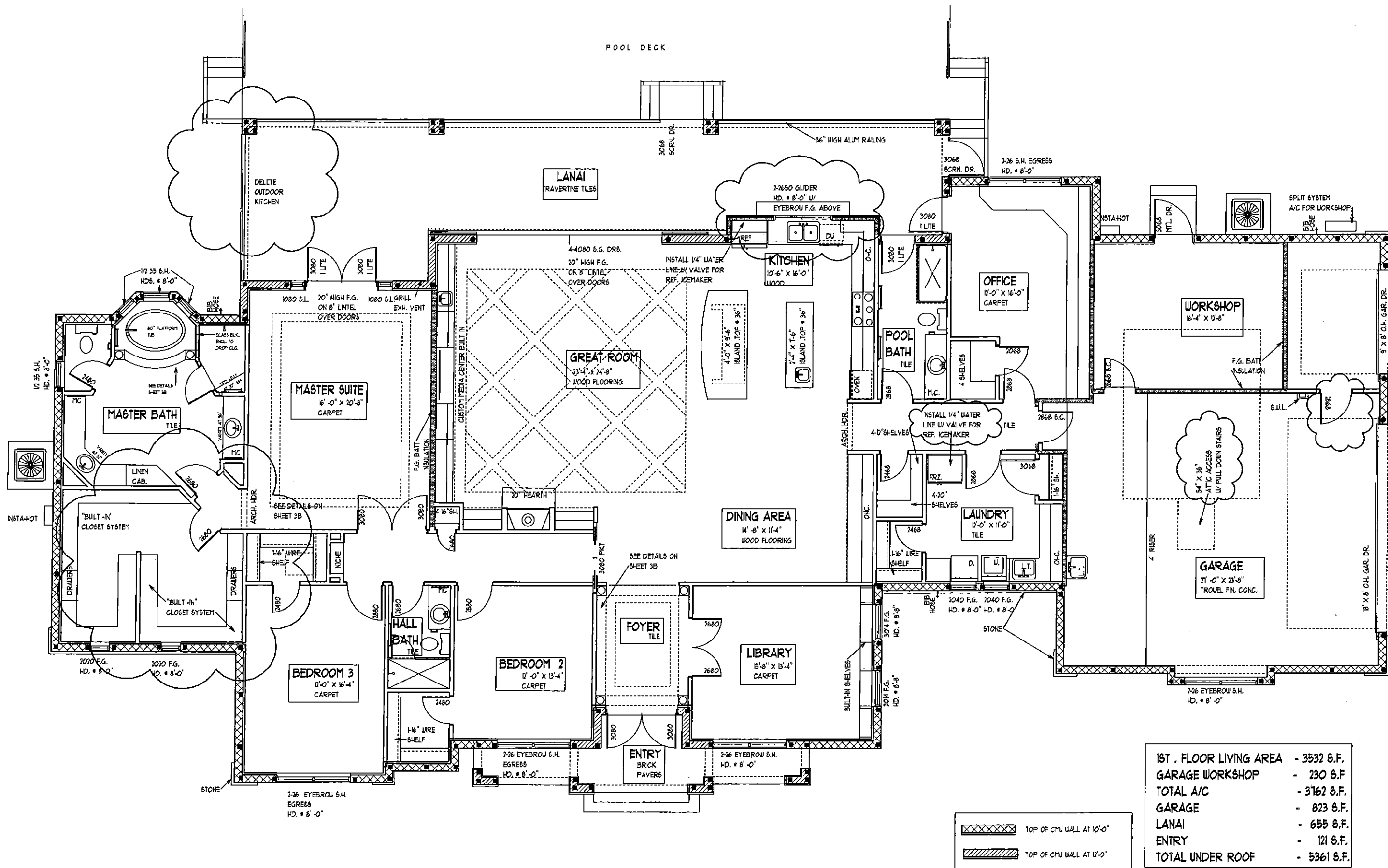
**MINIERI RESIDENCE
LOT 129 AUTUMN WOODS
UNIT II
TARPON SPRINGS, FL.**

I HEREBY CERTIFY THAT I HAVE
PERFORMED THE ATTACHED DESIGN
TO COMPLY WITH AS HPA 11 ULTIMATE
WIND LOADS AND IT IS IN COMPLIANCE
WITH SECT. 301 OF THE 2010 FLORIDA
RESIDENTIAL BUILDING CODE
SEALED FOR STRUCTURE ONLY

**ALLEN ENGINEERING &
CONSTRUCTION SERVICES**
RICH ALLEN PROFESSIONAL ENGINEER
P.E. # 56920 C.A. # 9542

P.O. BOX 351
NEW PORT RICHEY, FL. 34636
727-842-6100
richallenpe@gmail.com

A.E.C.S. # 15006



FIRST FLOOR NOTES SCALE 1/8" = 1' 0"

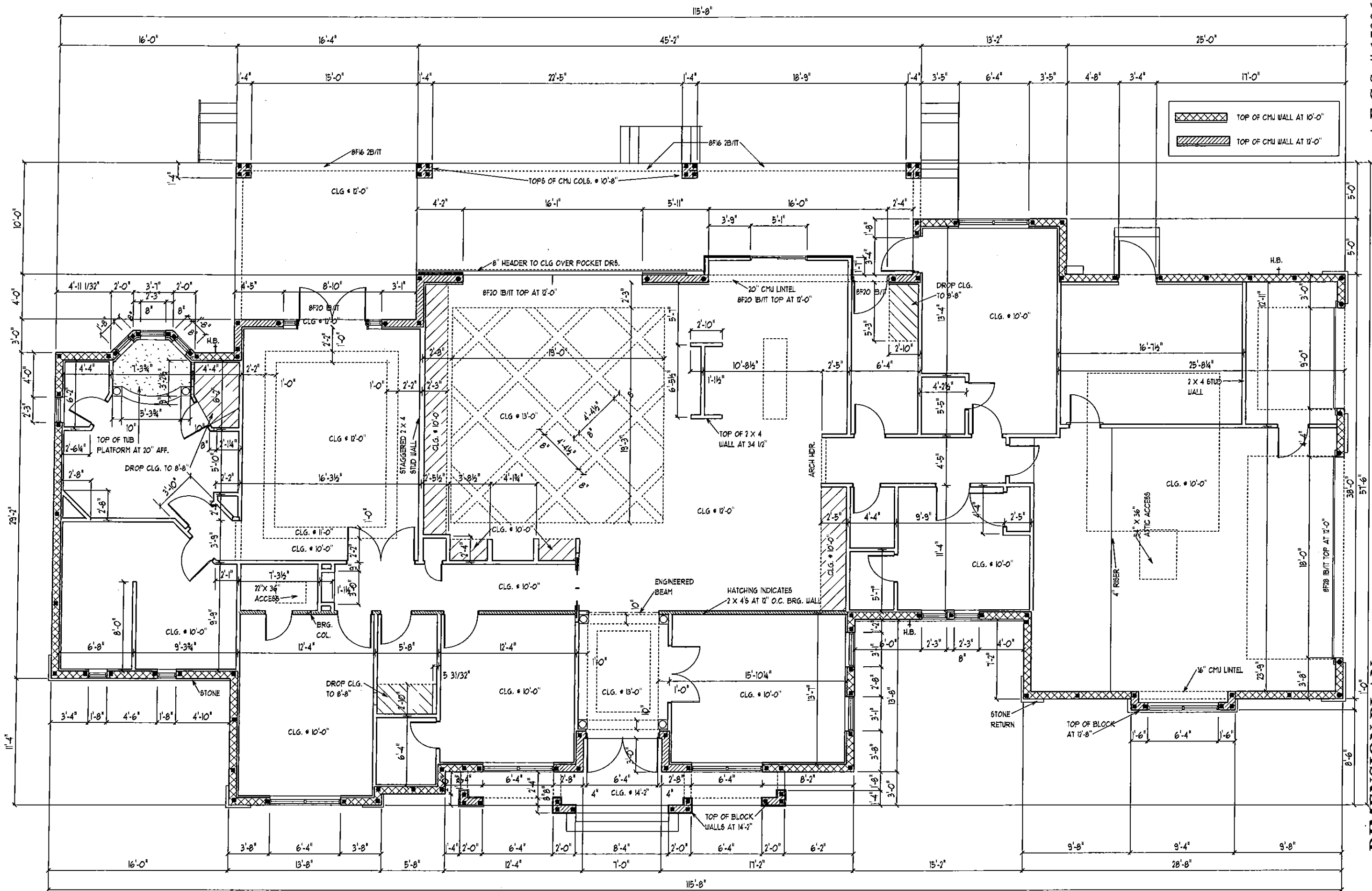
DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL 34655

MINIERI RESIDENCE
LOT 129 AUTUMN WOODS
UNIT II
TARPON SPRINGS, FL.

PLAN DATE
11-10-14 02-24-15
11-20-14 03-10-15
11-26-14 03-30-15
1-5-15 04-17-15
1-15-15

A.E.C.S. # 15006
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P.O. BOX 351
NEW PORT RICHEY, FL 34656
727-842-6100
richallenpe@gmail.com

I HEREBY CERTIFY THAT I HAVE
PERFORMED THE ATTACHED DESIGN
TO COMPLY WITH ALL APPLICABLE
CITY, STATE AND FEDERAL
REQUIREMENTS AND IT IS IN COMPLIANCE
WITH THE 2010 FLORIDA
RESIDENTIAL BUILDING CODE
SEALED FOR STRUCTURE ONLY
SIGNED RICHARD E. ALLEN P.E. 96830



DIMENSION PLAN

A.E.C.S. # 15006

**DEEB FAMILY
HOMES, LTD.**

9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

NEW PORT RICHEY, FL. 34655

PLAN DATE

11-10-14|02-24-15

11-20-14	03-10-15
----------	----------

11-26-14	03-30-15
1-5-15	04-17-15

1-15-15

}

MINI-RESIDENCE

**MAINTENANCE RESIDENCE
LOT 129 AUTUMN WOODS**

LOI 123 ADMIN WOODS

UNIT II

TARPON SPRINGS, FL.

I HEREBY CERTIFY THAT I HAVE

PERFORMED THE ATTACHED DESIGN
TO COMPLY WITH 45 MPH ULTIMATE

WIND LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2010 FLORIDA

RESIDENTIAL BUILDING CODE
SEALED FOR STRUCTURE ONLY

SIGNED _____
DIRECTOR OF BUREAU

RICHARD E. ALLEN (F.E. 58510)

SIGNED _____
RICHARD E. ALLEN, OF REASON

RICHARD E. ALLEN F.F. - 50520

ALLEN ENGINEERING &

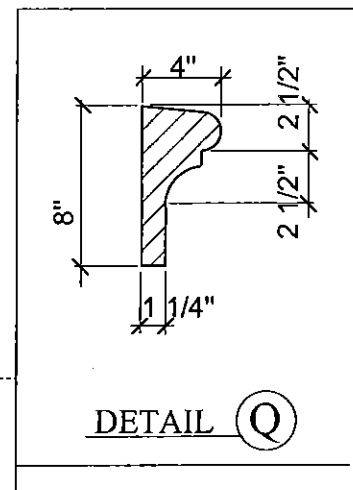
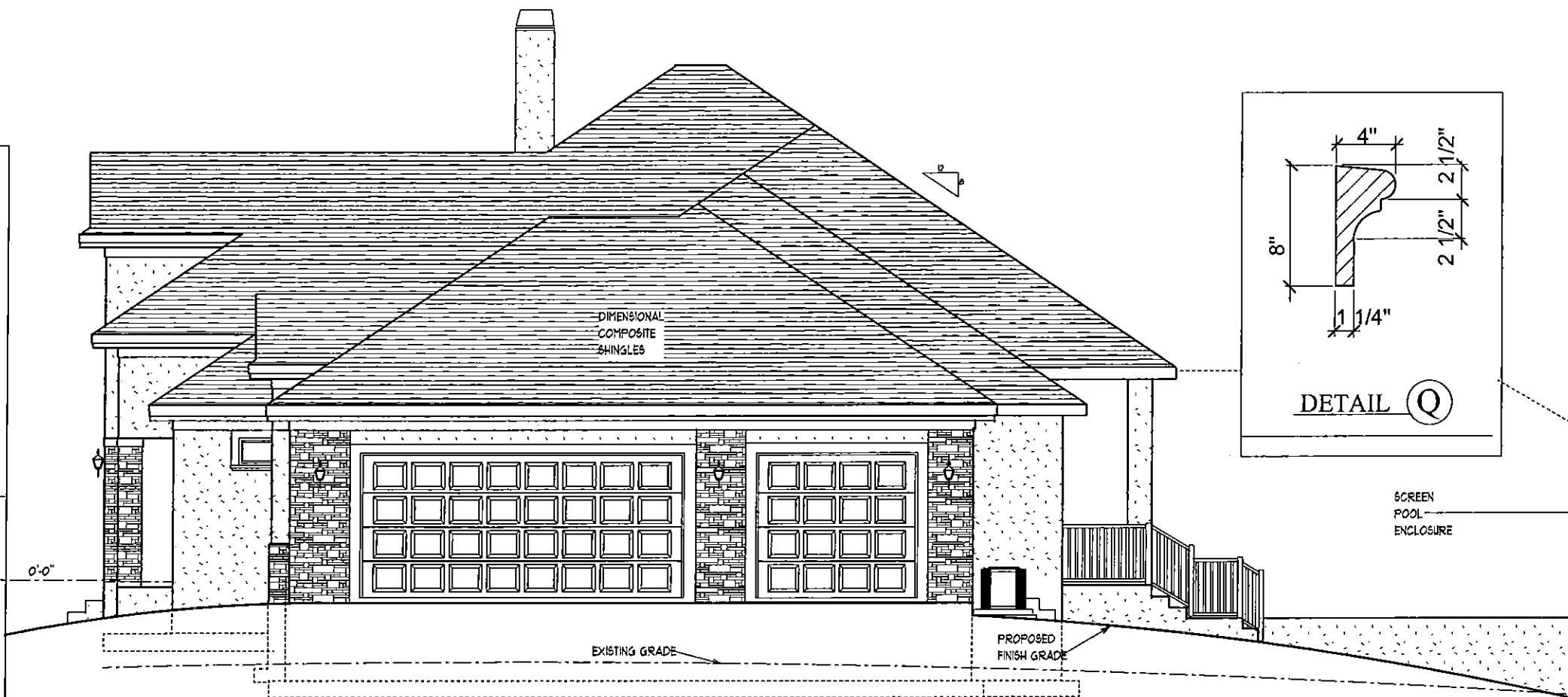
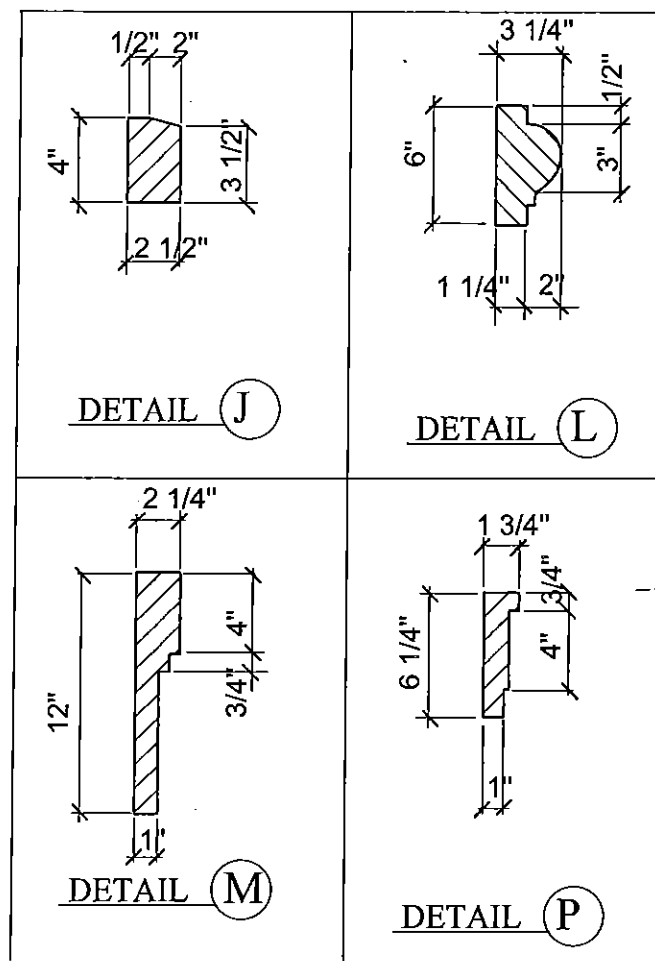
CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER

P.E. # 56920 C.A. # 9542

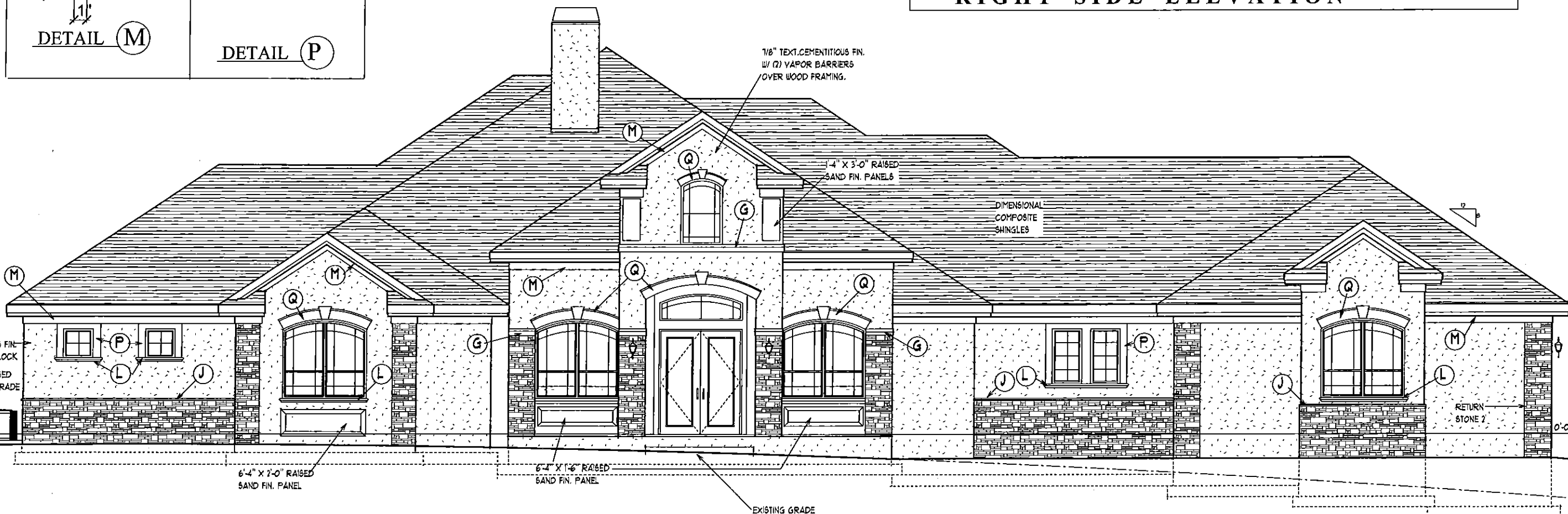
P.O. BOX 351
NEW PORT RICHEY, FL. 34656

727-842-6100
richallenpe@gmail.com

10



RIGHT SIDE ELEVATION



FRONT ELEVATION

EXTERIOR ELEVATIONS SCALE 1/8" = 1' 0"

A.E.C.S. # 15006

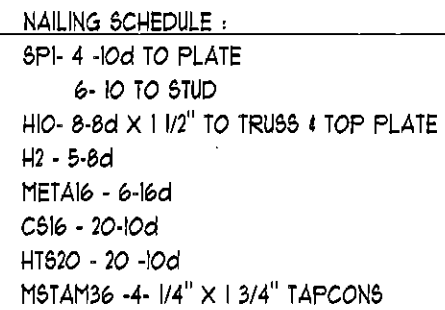
ALLEN ENGINEERING & CONSTRUCTION SERVICES
 RICH ALLEN PROFESSIONAL ENGINEER
 P.E. # 56920 C.A. # 9542
 P.O. BOX 151
 NEW PORT RICHEY, FL. 34656
 727-842-6100
 richallenpe@gmail.com

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE WIND LOADS AND IT IS IN COMPLIANCE WITH SEC. 301 OF THE 2010 FLORIDA RESIDENTIAL BUILDING CODE SEALED FOR STRUCTURE ONLY
 SIGNED: RICHARD E. ALLEN P.E. #6630

MINIERI RESIDENCE
 LOT 129 AUTUMN WOODS UNIT II
 TARPON SPRINGS, FL.

PLAN DATE
11-10-14 02-24-15
11-20-14 03-10-15
11-26-14 03-30-15
1-5-15 04-17-15
1-15-15

DEEB FAMILY HOMES, LTD.
 9400 RIVER CROSSING BLD.
 NEW PORT RICHEY, FL. 34655



Architectural elevation drawing of a building entrance. The drawing shows a set of double doors with six panels each, set within a stone archway. Above the arch is a decorative frieze (F.G.). To the right of the doors is a vertical entry door. Dimensions are provided for various parts: the main entrance is 17'-0" high and 8'-3" wide; the arch is 8'-0" high and 8'-0" wide; the entry door is 10'-0" high and 6" wide. A diagonal line indicates a roof slope. Labels include "2-2 x 12's", "F.G.", "ENTRY DOORS", and "8" WOOD COLS."

[illegible]

2 x 4 KNEEWALL W/ 6YP # 1/2" O.C.
W/ HIO TO TRUSS W/ 6P1 TO TOP PLATES
W/ 6P1 TO BOTTOM PLATE W/ 2 x 4 BLOCKING
BETWEEN TRUSS BAYS AT 1/2" O.C. W/ 3/8" x 4"
LAG SCREW EACH BLOCK TO BOTTOM PLATE
W/ 1/2" SHEATHING # 8d NAILS # 4" O.C. TYPICAL

3 PLY 2 x 8 P.T. COL
W/ (1) HT6M24 TO CMU
AND (2) HT520 TO BEAM
TYPICAL

2-2 x 12's

HUC210-2

2-2 x 12's

PLAN VIEW

**ALLEN ENGINEERING &
CONSTRUCTION SERVICES**
RICH ALLEN PROFESSIONAL ENGINEER
P.E. # 56920 C.A. # 9542
P.O. BOX 351
NEW PORT RICHEY, FL. 34656
727-842-6100
richallenpe@gmail.com

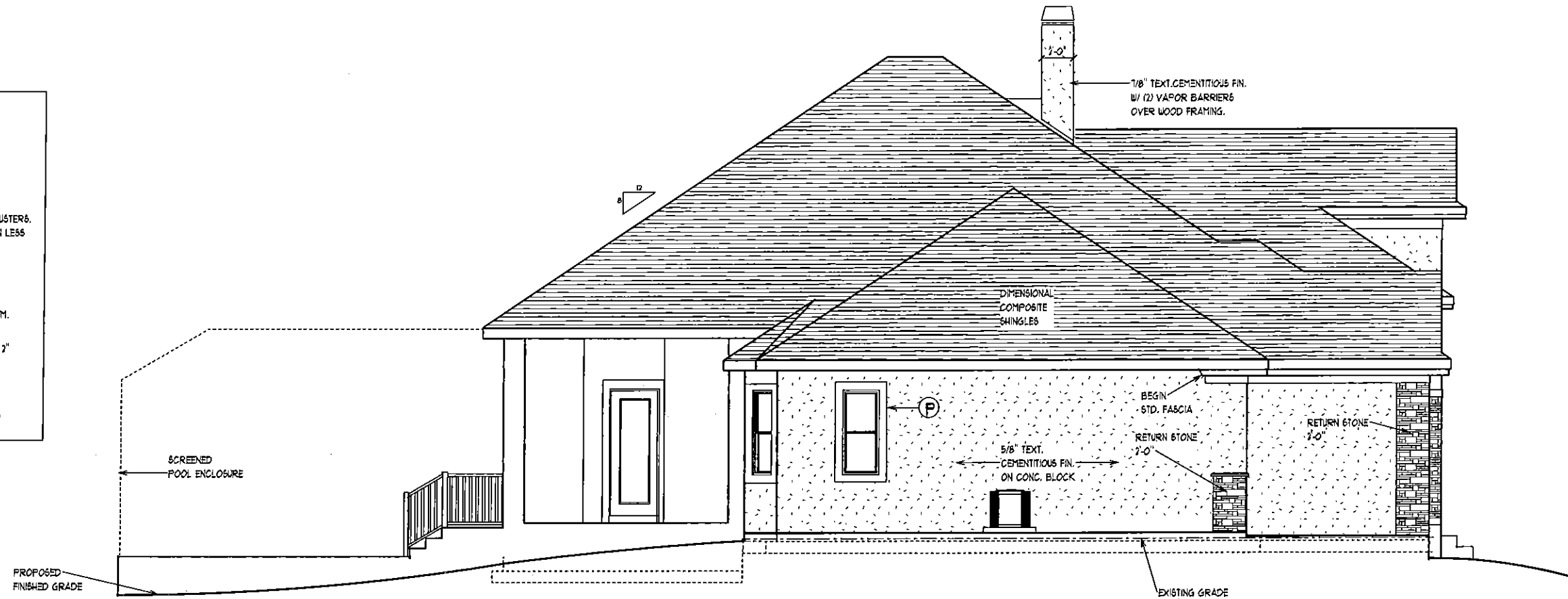
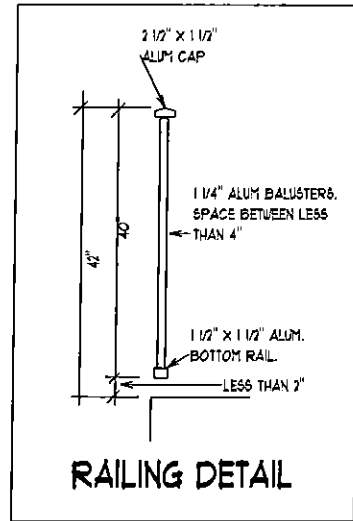
I HEREBY CERTIFY THAT I HAVE
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TO COMPLY WITH HAS WPH ULTIMATE
WIND LOADS AND IT IS IN COMPLIANCE
WITH SECT. 301 OF THE 2010 FLORIDA
RESIDENTIAL BUILDING CODE
SEALED FOR STRUCTURE ONLY

SIGNED, _____ P.E. #5690
RICHARD E. ALLEN

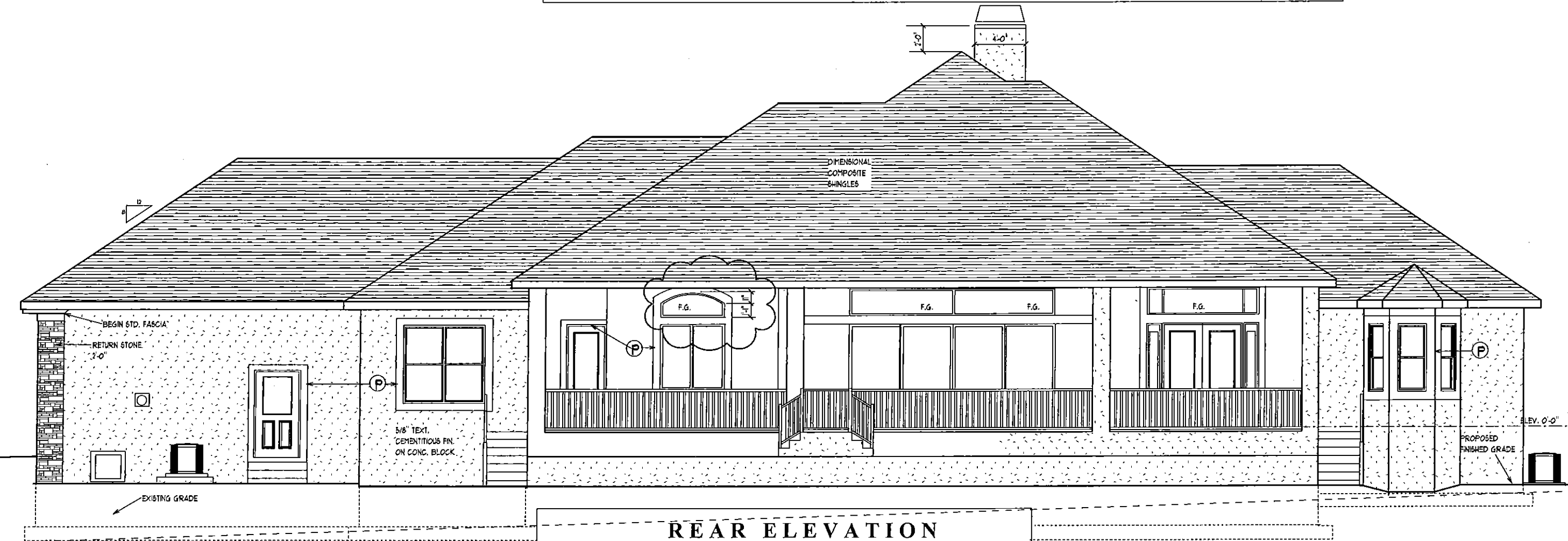
PLAN DATE
11-10-14
11-20-14
11-26-14
1-5-15
1-15-15

**DEEB FAMILY
HOMES, LTD.**
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

4A



LEFT SIDE ELEVATION



REAR ELEVATION

EXTERIOR ELEVATIONS SCALE 1/8" = 1'-0"

A.E.C.S. # 15006

ALLEN ENGINEERING &
CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
P.E. # 56920 C.A. # 9542

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NEW PORT RICHEY, FL. 34656
727-842-6100
richallenpe@gmail.com

I HEREBY CERTIFY THAT I HAVE
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UNIFORM AND IT IS IN COMPLIANCE
WITH SECT. 901 OF THE 2010 FLORIDA
RESIDENTIAL BUILDING CODE
SEALED FOR STRUCTURE ONLY

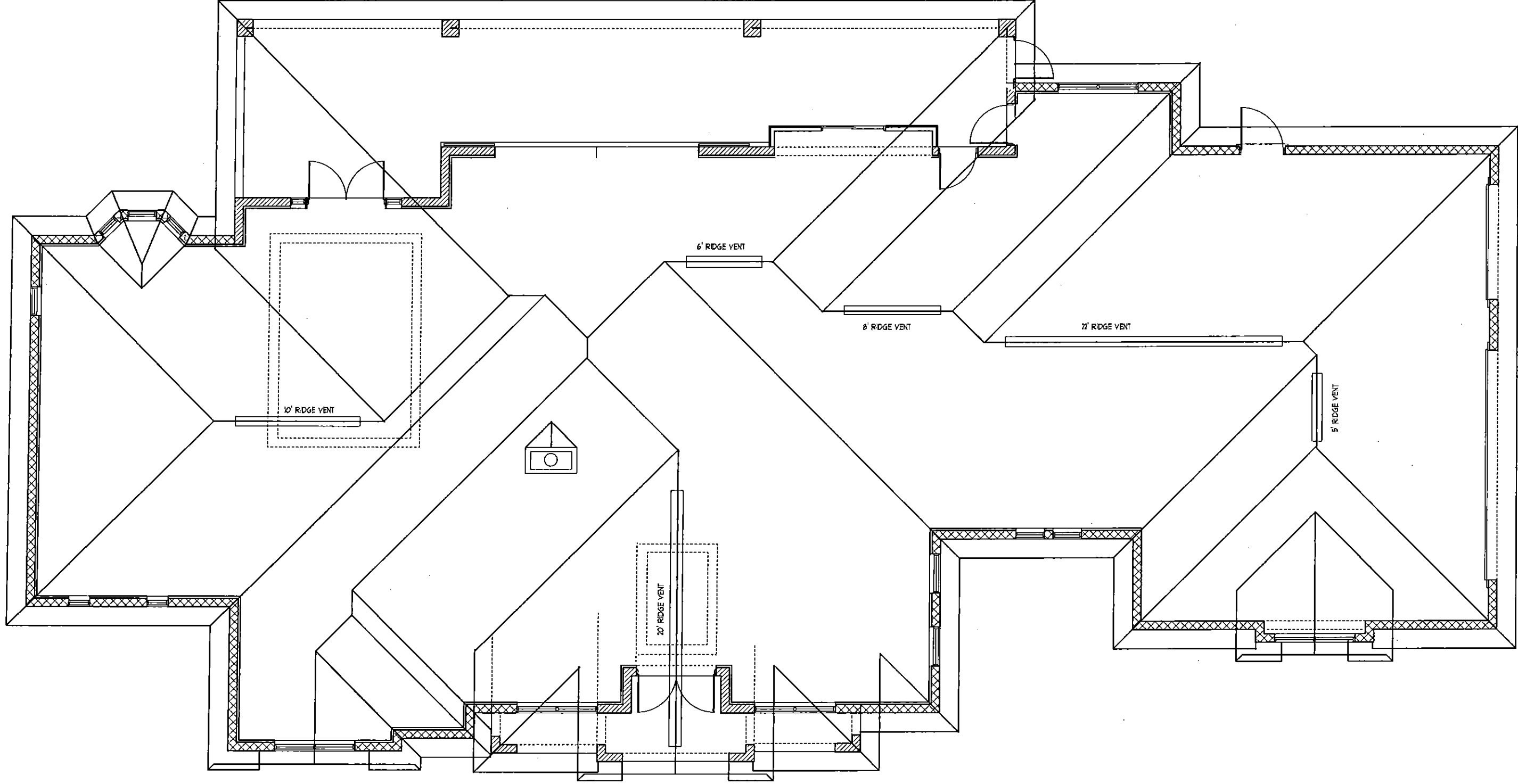
SIGNED: RICHARD E. ALLEN P.E. #56920

MINIERI RESIDENCE
LOT 129 AUTUMN WOODS
UNIT II
TARAPON SPRINGS, FL.

PLAN DATE
11-10-14 02-24-15
11-20-14 03-10-15
11-26-14 03-30-15
1-5-15 04-17-15
1-15-15

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

5



TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50 % AND NOT MORE THAN 80 % IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED PER SECT. R806.2

TOTAL AREA TO BE VENTILATED = 5361 S.F.
5361/300 = 17.87 S.F. OR 2513.28 SQUARE INCHES.
ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.
2513.28 S.F./36 S.I. = 71.48 LINEAL FEET REQUIRED.
INSTALLATION FOR THIS ROOF IS 12' OF RIDGE VENTING

A.E.C.S. # 15006

ALLEN ENGINEERING & CONSTRUCTION SERVICES

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727-842-6100
richallenpe@gmail.com

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE WIND LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2010 FLORIDA RESIDENTIAL BUILDING CODE SEALED FOR STRUCTURE ONLY

SIGNED
RICHARD E. ALLEN P.E. #66920

MINIERI RESIDENCE

LOT 129 AUTUMN WOODS

UNIT II

TARPON SPRINGS, FL.

PLAN DATE	PLAN DATE
11-10-14	02-24-15
11-20-14	03-10-15
11-26-14	03-30-15
1-5-15	04-17-15
1-15-15	

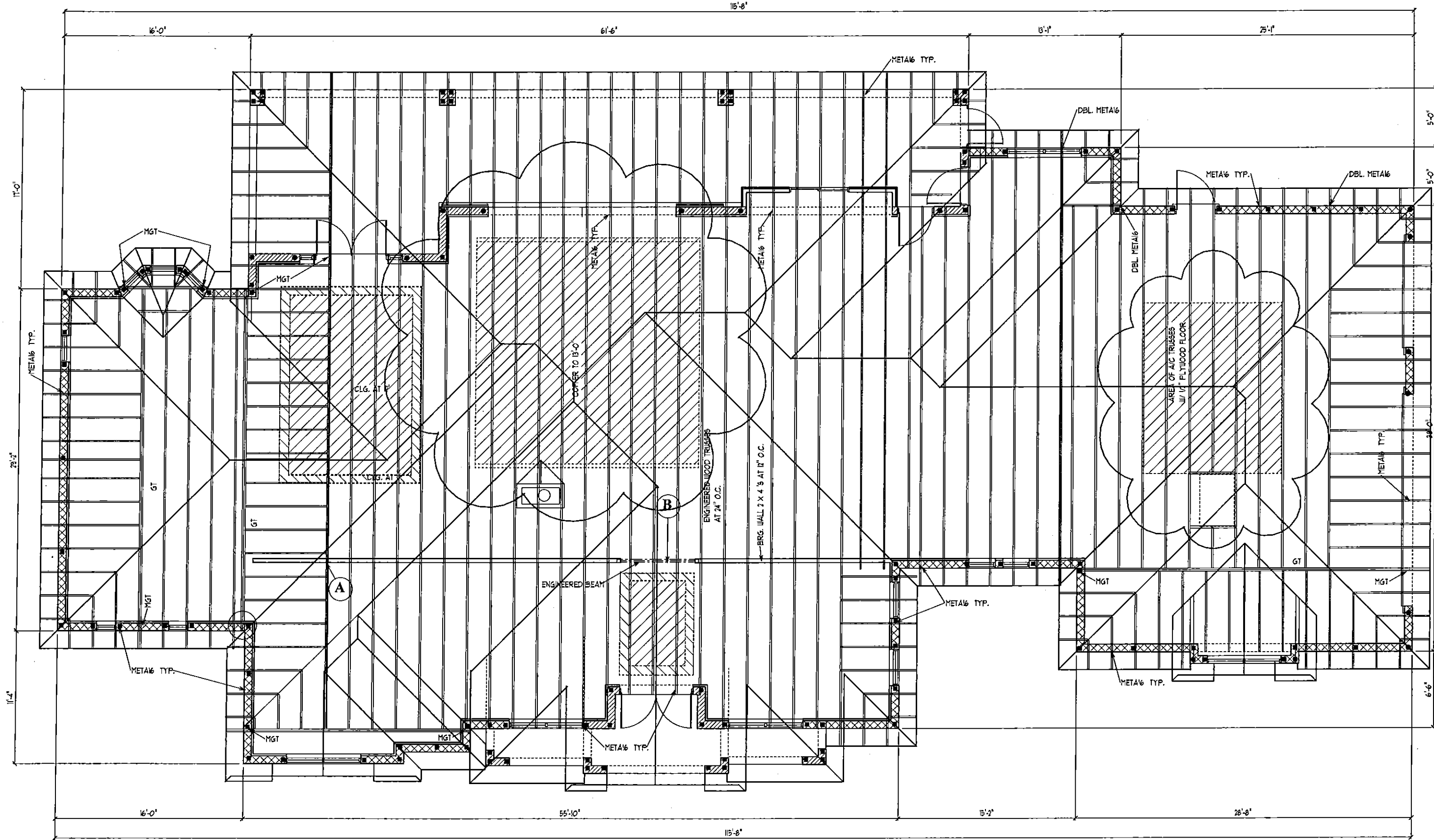
DEEB FAMILY HOMES, LTD.

9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL 34655

6

ROOF PLAN

1/8" = 1'-0"



- (A) 3.5" X 3.5" VERBALAM COLUMN W/
LGT2 TO TRUSS & HTTS TO CONCRETE
- (B) DBL. 12" LVL HEADER W/ 2 KINGS & JACKS EACH END,
2 C8/S EACH STUD PACK TO LVL, & HTTS TO CONCRETE

A.E.C.S. # 15006

ALLEN ENGINEERING &
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727-842-6100
richallenpe@gmail.com

I HEREBY CERTIFY THAT I HAVE
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TO COMPLY WITH THE APPROPRIATE
WIND LOADS AND IT IS IN COMPLIANCE
WITH SECT. 901 OF THE 2000 FLORIDA
RESIDENTIAL BUILDING CODE
SEALED FOR STRUCTURE ONLY
SIGNED: RICHARD E. ALLEN P.E. #56920

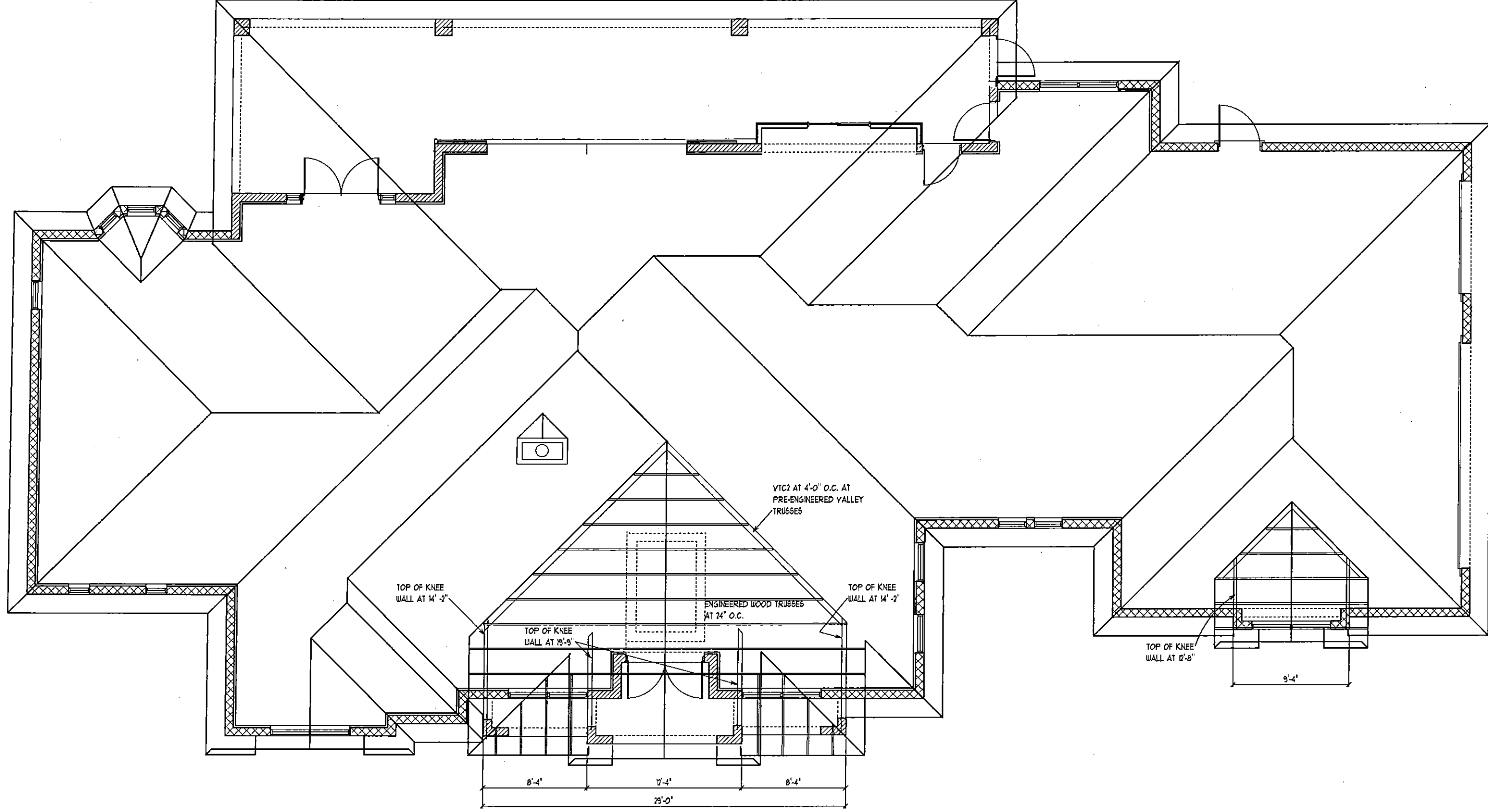
MINIERI RESIDENCE
LOT 129 AUTUMN WOODS
UNIT II
TARAPON SPRINGS, FL.

PLAN DATE
11-10-14 02-24-15
11-20-14 03-10-15
11-26-14 03-30-15
1-5-15 04-17-15
1-15-15

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

6A

MAIN TRUSS PLAN 1/8" = 1'-0"



ENTRY TOWER TRUSSES

1/8" = 1'-0"

6B

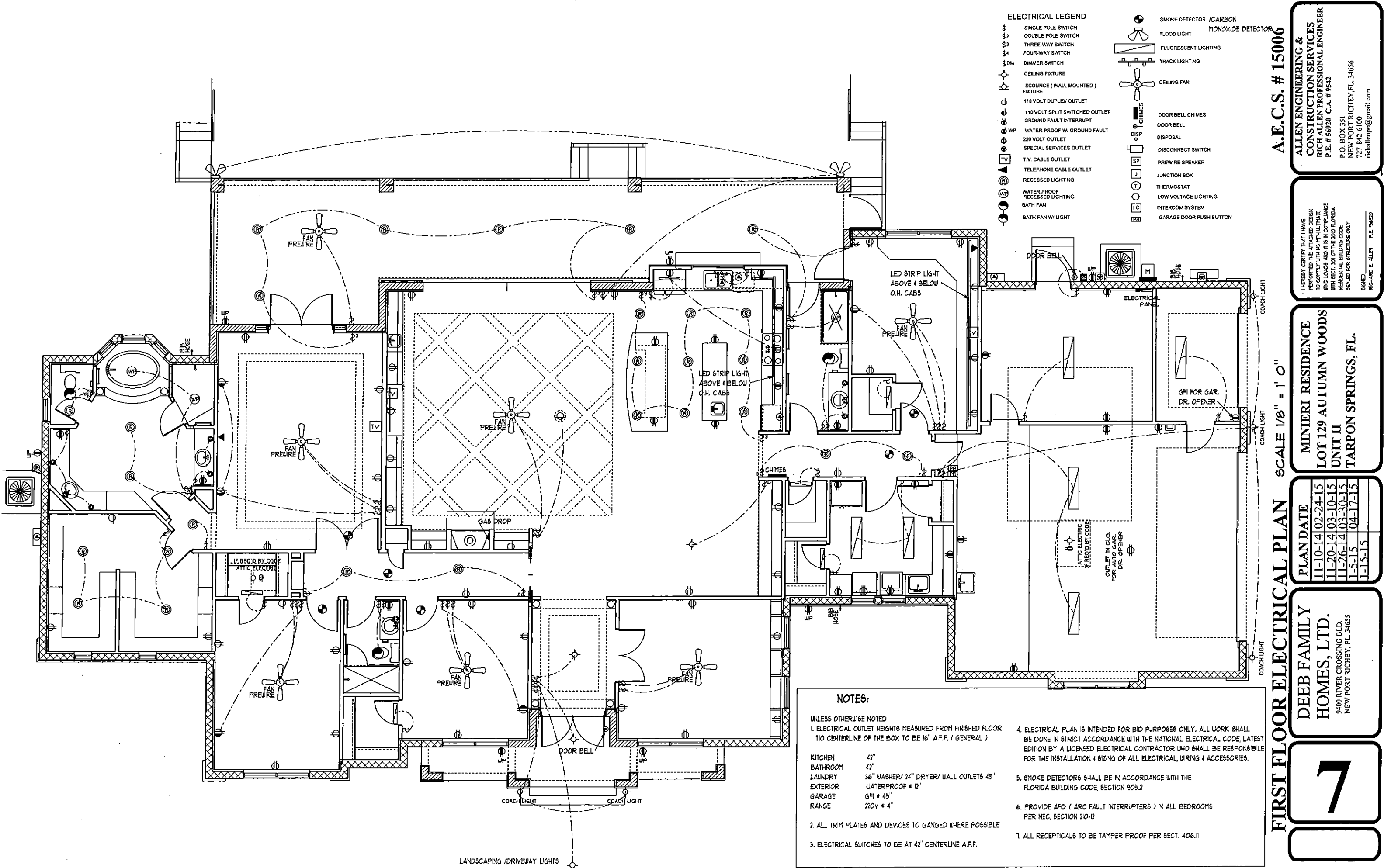
DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

PLAN DATE	11-10-14	02-24-15
	11-20-14	03-10-15
	11-26-14	03-30-15
	1-5-15	04-17-15
	1-15-15	

MINIERI RESIDENCE
LOT 129 AUTUMN WOODS
UNIT II
TARPON SPRINGS, FL.

I HEREBY CERTIFY THAT I HAVE
PERFORMED THE ATTACHED DESIGN
TO COMPLY WITH ALL APPLICABLE
LOCAL, STATE AND FEDERAL
REQUIREMENTS AND IT IS IN COMPLIANCE
WITH THE 2010 FLORIDA
RESIDENTIAL BUILDING CODE
SEALED FOR STRUCTURE ONLY
SIGNED
RICHARD E. ALLEN P.E. #56920

A.E.C.S. # 15006
ALLEN ENGINEERING &
CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
P.E. # 56920 C.A. # 9542
P.O. BOX 351
NEW PORT RICHEY, FL. 34656
727-842-6100
richallenpe@gmail.com



- ELECTRICAL LEGEND**
- \$ SINGLE POLE SWITCH
 - \$2 DOUBLE POLE SWITCH
 - \$3 THREE-WAY SWITCH
 - \$4 FOUR-WAY SWITCH
 - \$DM DIMMER SWITCH
 - ⊕ CEILING FIXTURE
 - ⊕ SCOURCE (WALL MOUNTED) FIXTURE
 - ⊕ 110 VOLT DUPLEX OUTLET
 - ⊕ 110 VOLT SPLIT SWITCHED OUTLET
 - ⊕ GROUND FAULT INTERRUPT
 - ⊕ WP WATER PROOF W/ GROUND FAULT
 - ⊕ 220 VOLT OUTLET
 - ⊕ SPECIAL SERVICES OUTLET
 - ⊕ T.V. CABLE OUTLET
 - ⊕ TELEPHONE CABLE OUTLET
 - ⊕ RECESSED LIGHTING
 - ⊕ WATER PROOF RECESSED LIGHTING
 - ⊕ BATH FAN
 - ⊕ BATH FAN W/ LIGHT
 - ⊕ SMOKE DETECTOR /CARBON MONOXIDE DETECTOR
 - ⊕ FLOOD LIGHT
 - ⊕ FLUORESCENT LIGHTING
 - ⊕ TRACK LIGHTING
 - ⊕ CEILING FAN
 - ⊕ CHIMES
 - ⊕ DOOR BELL CHIMES
 - ⊕ DOOR BELL
 - ⊕ DISPOSAL
 - ⊕ DISCONNECT SWITCH
 - ⊕ PREWIRE SPEAKER
 - ⊕ JUNCTION BOX
 - ⊕ THERMOSTAT
 - ⊕ LOW VOLTAGE LIGHTING
 - ⊕ INTERCOM SYSTEM
 - ⊕ GARAGE DOOR PUSH BUTTON

NOTES:

UNLESS OTHERWISE NOTED

1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 16" A.F.F. (GENERAL)

2. ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE

3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.

5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION 905.2

6. PROVIDE AFCI (ARC FAULT INTERRUPTERS) IN ALL BEDROOMS PER NEC, SECTION 210-12

7. ALL RECEPTALS TO BE TAMPER PROOF PER SECT. 406.11

FIRST FLOOR ELECTRICAL PLAN SCALE 1/8" = 1' 0"

DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL 34655

MINIERI RESIDENCE
LOT 129 AUTUMN WOODS
UNIT II
TARAPON SPRINGS, FL.

PLAN DATE

11-10-14	02-24-15
11-20-14	03-10-15
11-26-14	03-30-15
1-5-15	04-17-15
1-15-15	

7

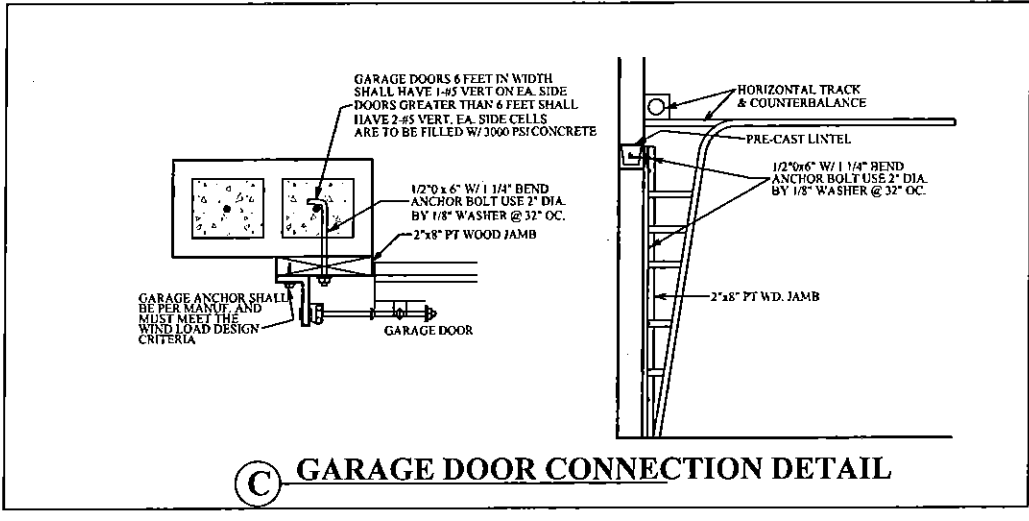
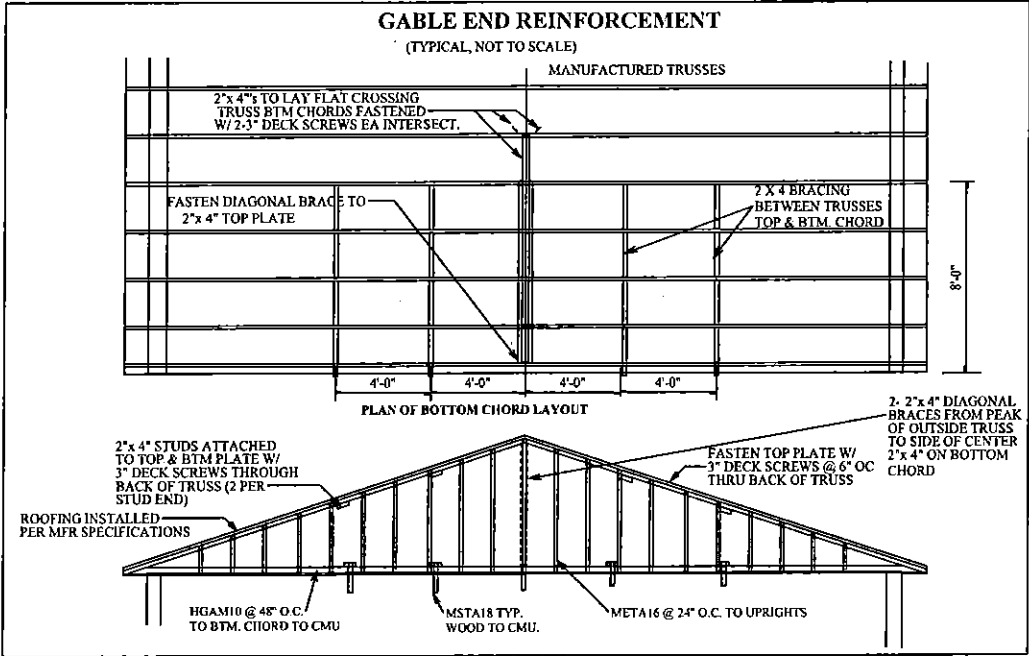
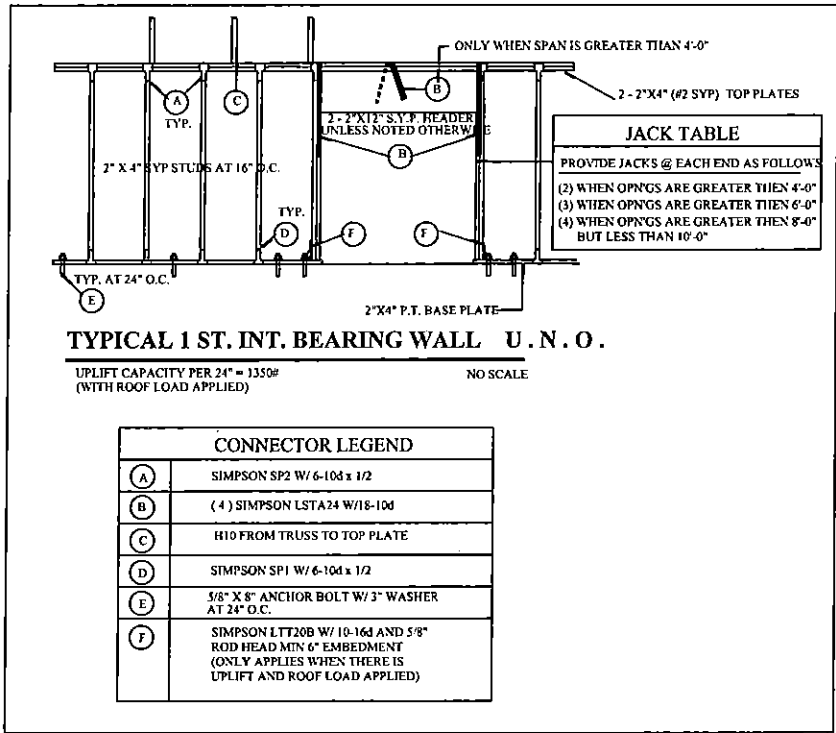
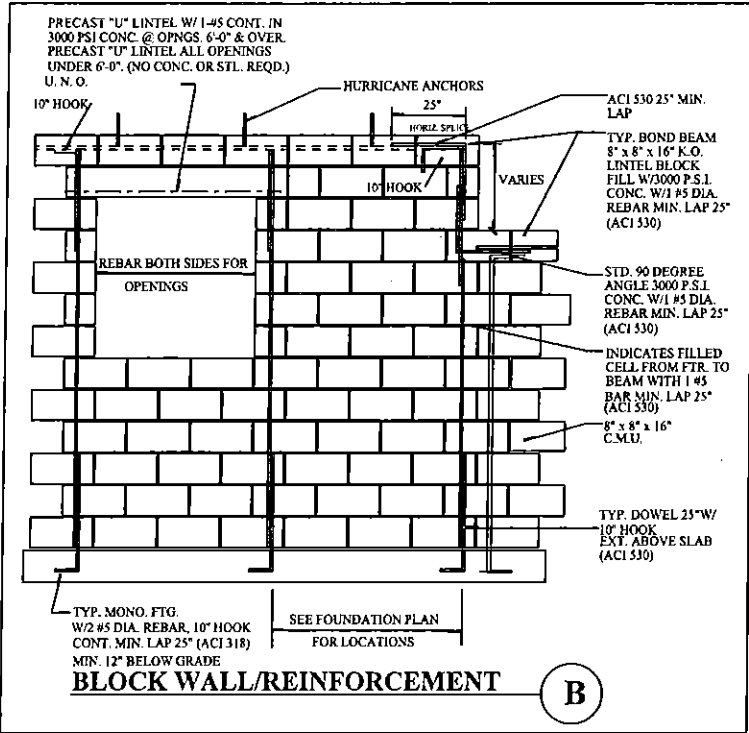
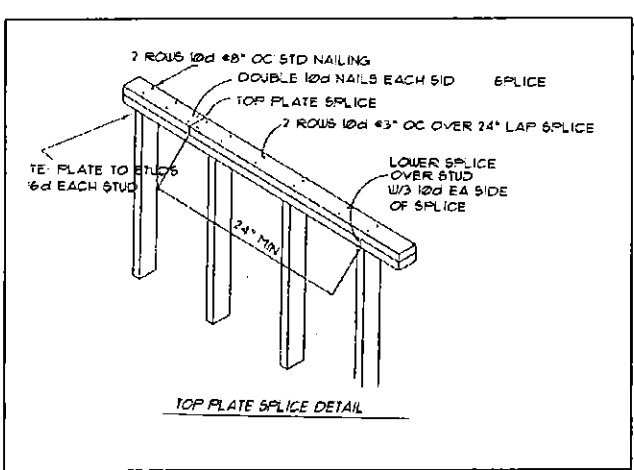
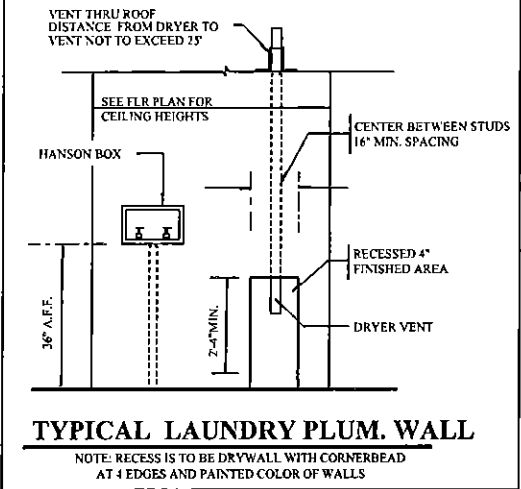
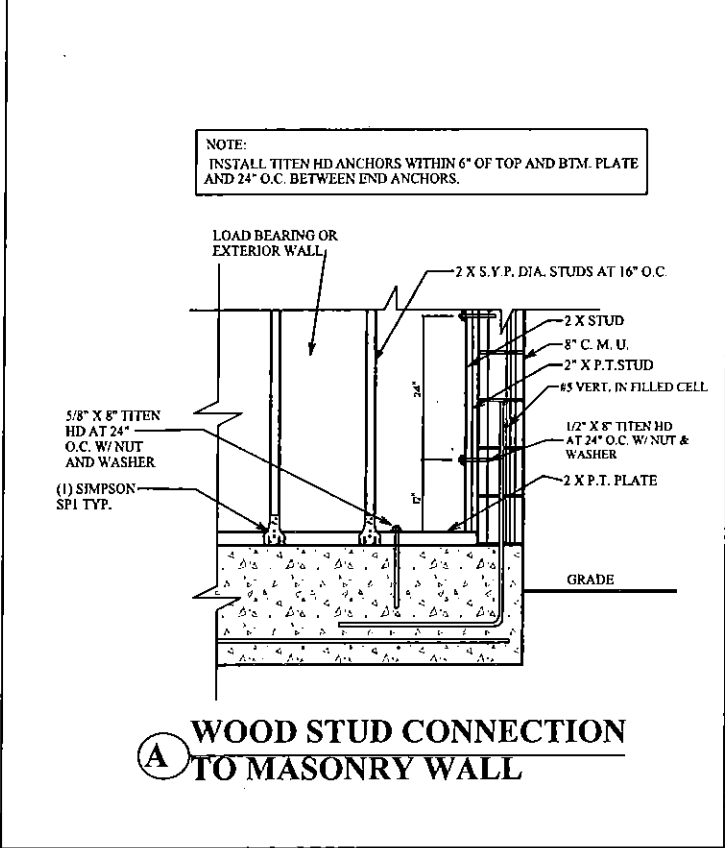
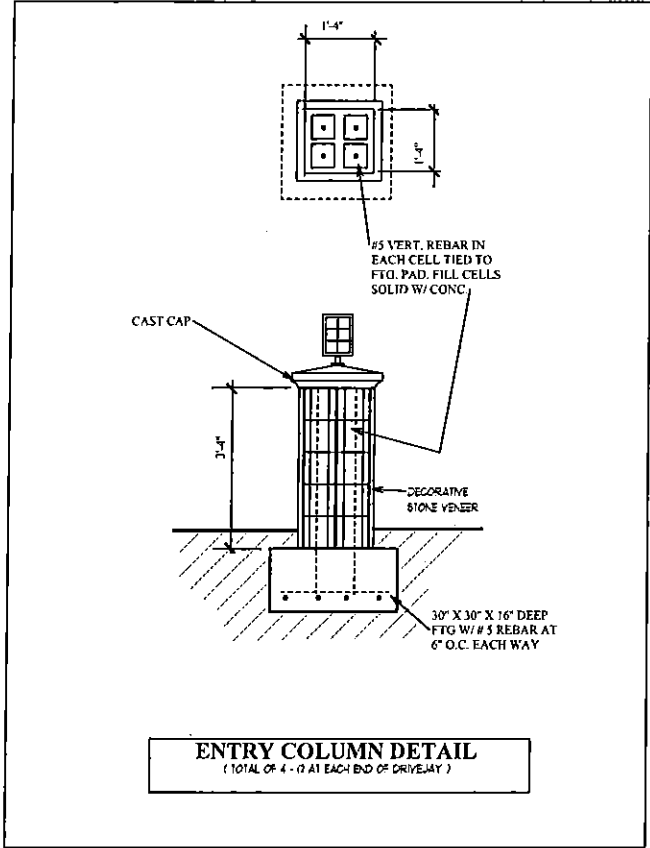
A.E.C.S. # 15006

ALLEN ENGINEERING & CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
P.E. # 56920 C.A. # 9542

P.O. BOX 351
NEW PORT RICHEY, FL 34656
727-842-6100
richallenpe@gmail.com

SIGNED: RICHARD E. ALLEN P.E. #56920

I HEREBY CERTIFY THAT I HAVE PREPARED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA.



A.E.C.S. # 15006

ALLEN ENGINEERING &
CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
P.E. # 56928 C.A. # 9542
P.O. BOX 351
NEW PORT RICHEY, FL 34656
727-842-6100
richallenpe@gmail.com

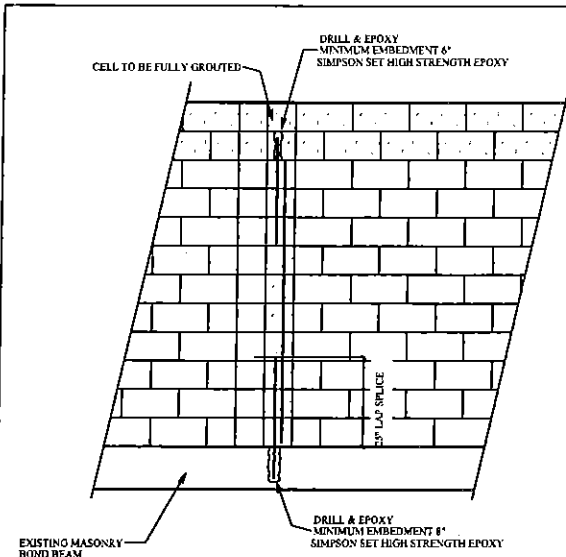
I HEREBY CERTIFY THAT I HAVE
PERFORMED THE ATTACHED DESIGN
TO COMPLY WITH 45 PPM UPLIFT
AND LOADS AND IT IS IN COMPLIANCE
WITH SECT. 501 OF THE 2000 FLORIDA
RESIDENTIAL BUILDING CODE
READY FOR STRUCTURE ONLY
SIGNED: RICHARD E. ALLEN P.E. #56928

MINIERI RESIDENCE
LOT 129 AUTUMN WOODS
UNIT II
TARPON SPRINGS, FL.

PLAN DATE	11-10-14	02-24-15
	11-20-14	03-10-15
	11-26-14	03-30-15
	1-5-15	04-17-15
	1-15-15	

CONSTRUCTION DETAILS

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL 34655



TYP. RETROFIT VERT. DOWEL CONDITION

NOTE:
MISSING DOWELS: WHERE FOOTING DOWELS ARE PLACED INCORRECTLY OR MUSTAKENLY ELIMINATED, REPLACE DOWEL AT PROPER LOCATION W/ GRADE 40 #5 BAR. INSTALL IN SLAB W/ 8\"/>

MISSING ANCHOR BOLTS AT BEARING WALL:

EXTERIOR BEARING WALL:

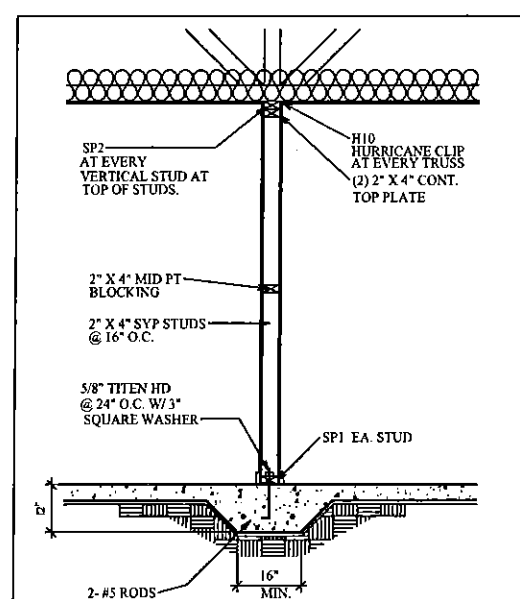
IN ADDITION TO THE GENERAL PLACEMENT REQUIREMENTS:

- 1.) 5/8\"/>

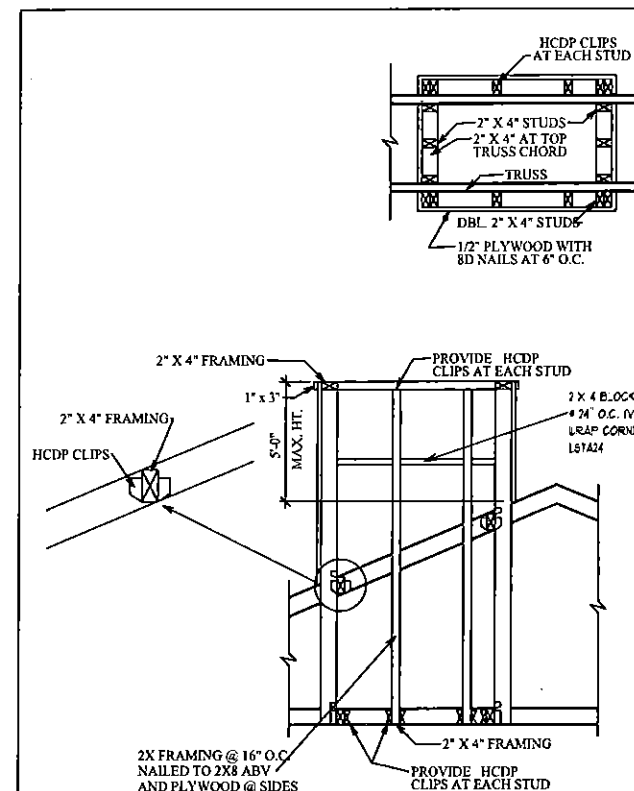
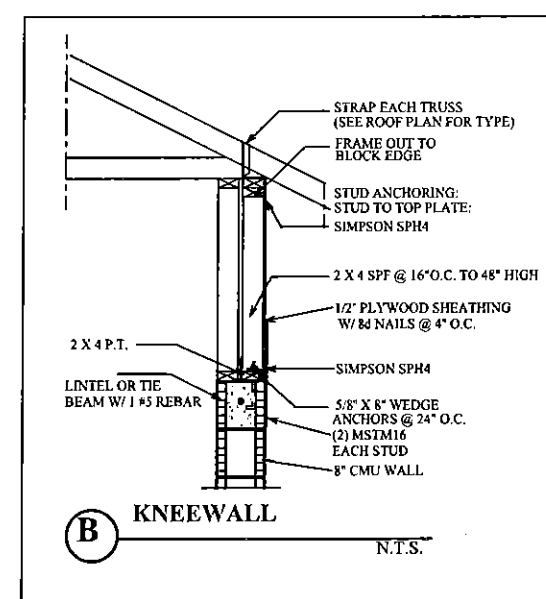
INTERIOR BEARING WALL:

IN ADDITION TO THE GENERAL PLACEMENT REQUIREMENTS:

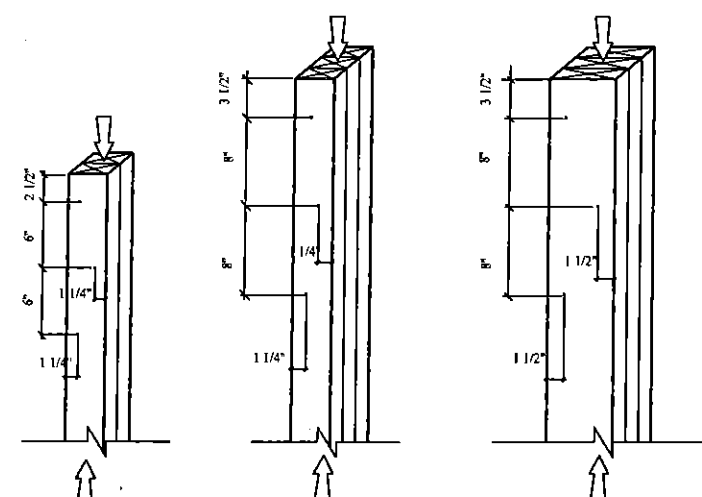
- 1.) 5/8\"/>



BEARING PARTITION



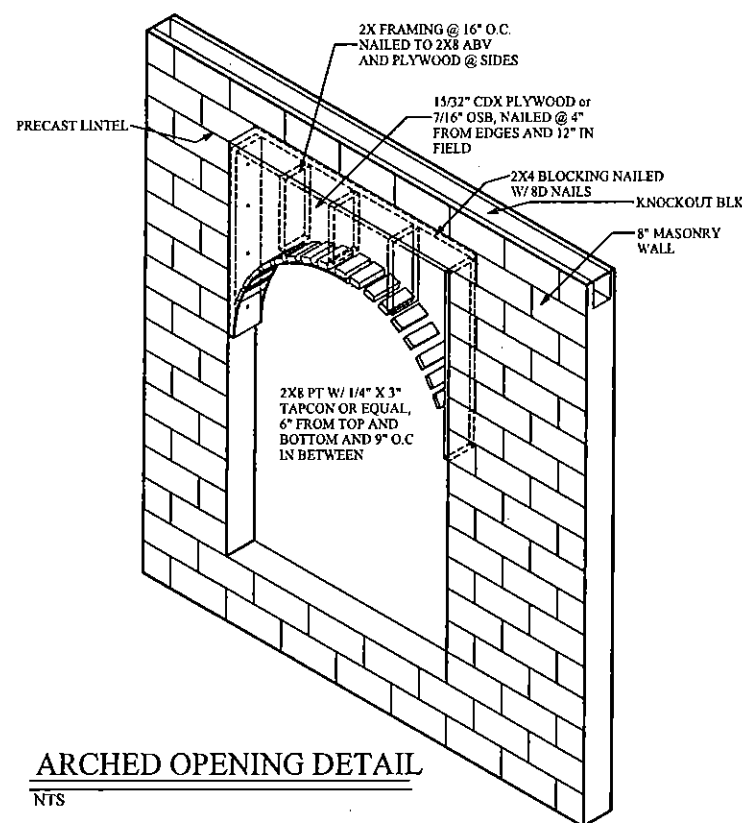
DETAIL-CHIMNEY



- (2) 2"x4" LAMINATIONS W/ (1) ROW OF STAGGERED 10d COMMON WIRE NAILS (D=0.148, L=3") OR EQUAL
- (3) 2"x4" LAMINATIONS W/ (1) ROW OF STAGGERED 30d COMMON WIRE NAILS (D=0.207, L=4 1/2") OR EQUAL
- (3) 2"x6" LAMINATIONS W/ (2) ROW OF STAGGERED 30d COMMON WIRE NAILS (D=0.207, L=4 1/2") OR EQUAL

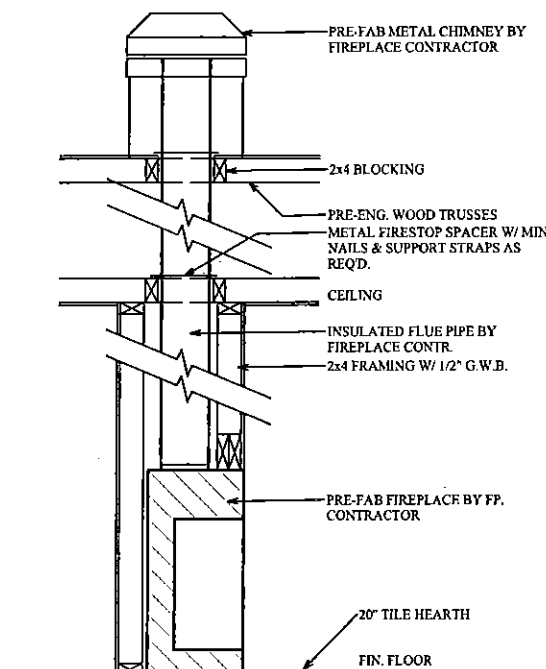
- NOTES:
- 1) ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN
 - 2) ALL NAILS PENETRATE AT LEAST 3/4 OF THE THICKNESS OF THE LAST LAMINATION
 - 3) EACH 30d COMMON NAIL MAY BE REPLACED W/ (2) 16d COMMON NAILS. (ONE INTO EACH OUTSIDE FACE OF B.U.C. SAME NUMBER OF ROES, SAME SPACING)
 - 4) FOR 4-PLY, PROVIDE 1/4\"/>

TYP. NAILING SCHEDULE FOR BUILT-UP COLUMNS



ARCHED OPENING DETAIL

NTS



SECTION - FIREPLACE

NTS

CONSTRUCTION DETAILS

A.E.C.S. # 15006

ALLEN ENGINEERING & CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
P.E. # 56920 C.A. # 9542
P.O. BOX 351
NEW PORT RICHEY, FL. 34656
727-842-6100
richallenpe@gmail.com

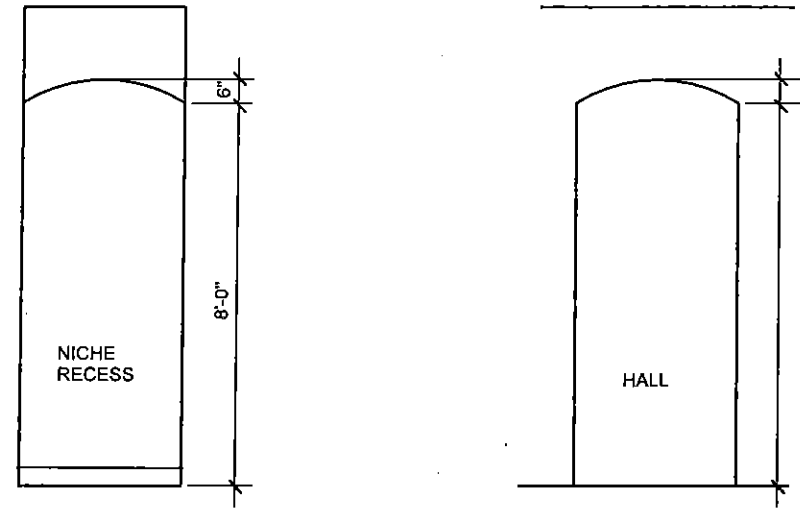
I HEREBY CERTIFY THAT I HAVE PREPARED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND IT IS IN COMPLIANCE WITH SECTION 901 OF THE 2010 FLORIDA RESIDENTIAL BUILDING CODE. SEAL FOR STRUCTURE ONLY.
SIGNED: RICHARD E. ALLEN P.E. #6930

MINIERI RESIDENCE
LOT 129 AUTUMN WOODS
UNIT II
TARPOON SPRINGS, FL.

PLAN DATE	11-10-14	02-24-15
	11-20-14	03-10-15
	11-26-14	03-30-15
	1-5-15	04-17-15
	1-15-15	

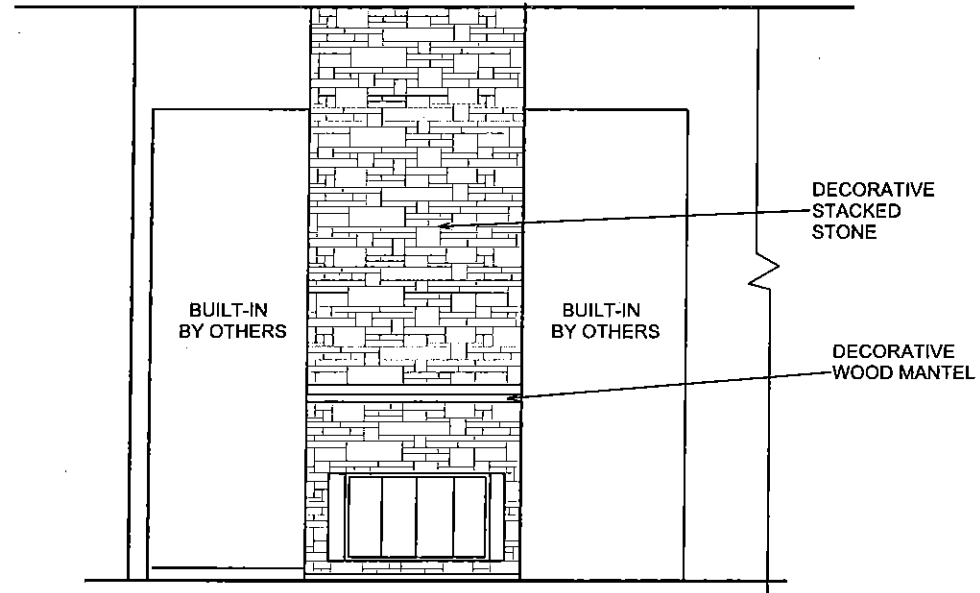
DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

9



MASTER SUITE NICHE

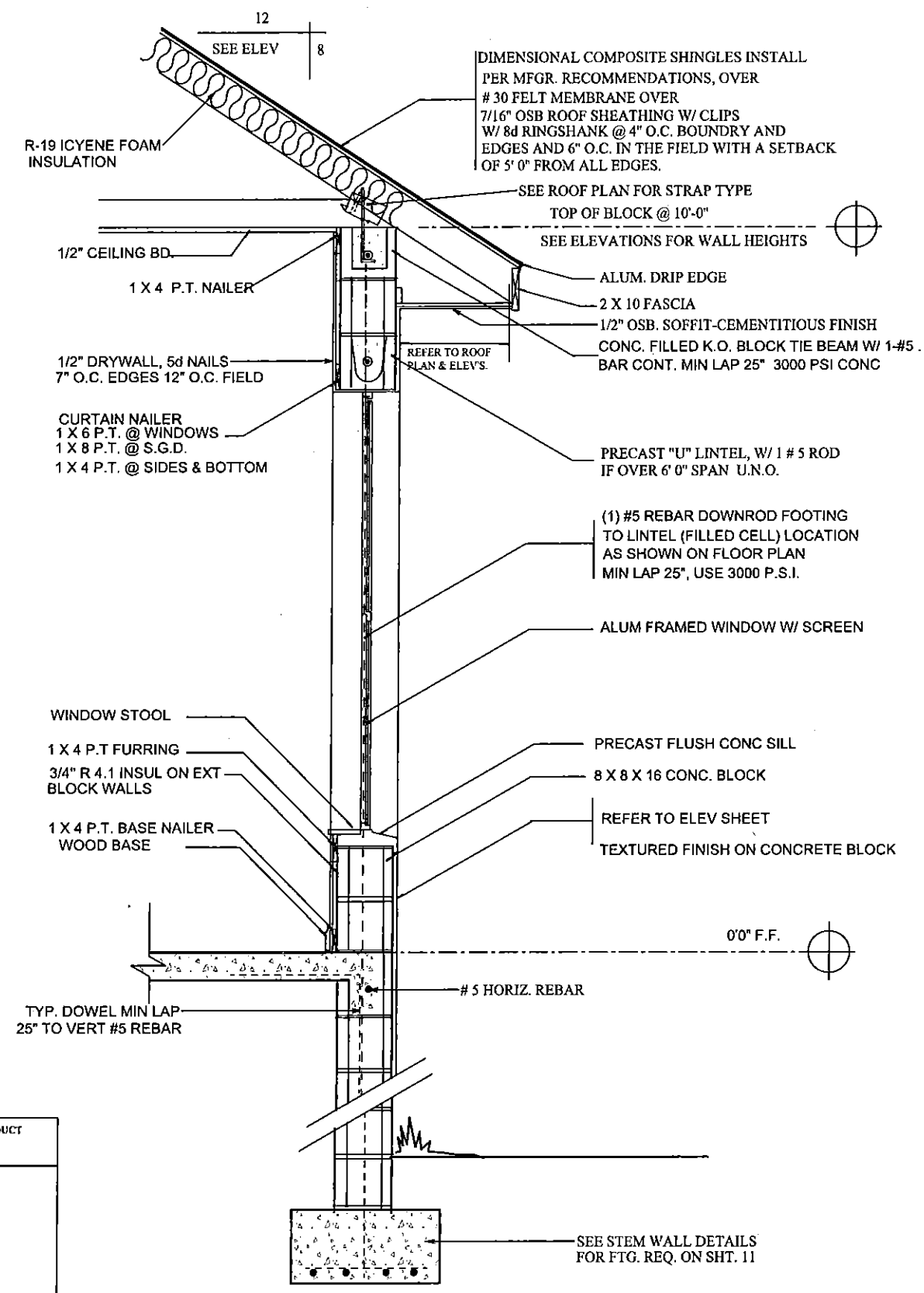
TYPICAL ARCHED HEADER



FIREPLACE DETAILS

CONNECTOR TABLE

SIMPSON	FLORIDA PRODUCT NUMBERS PER INDEX 3-27-09
META16	11473.17
H3	10456.13
H10	10456.6
MGT	11470.7
LSTA24	10882.4
SP1	10456.41
SP2	10456.42
VTC4	10861.5
LGT2	11470.6
ECCQ3.4SDS2.5	10860.10
HTS20	10456.23
HTT15	11496.1



TYPICAL ONE STORY WALL SECTION

TERMITE SPECIFICATIONS:
 INSTALL "BORA-CARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

CONSTRUCTION DETAILS

A.E.C.S. # 15006

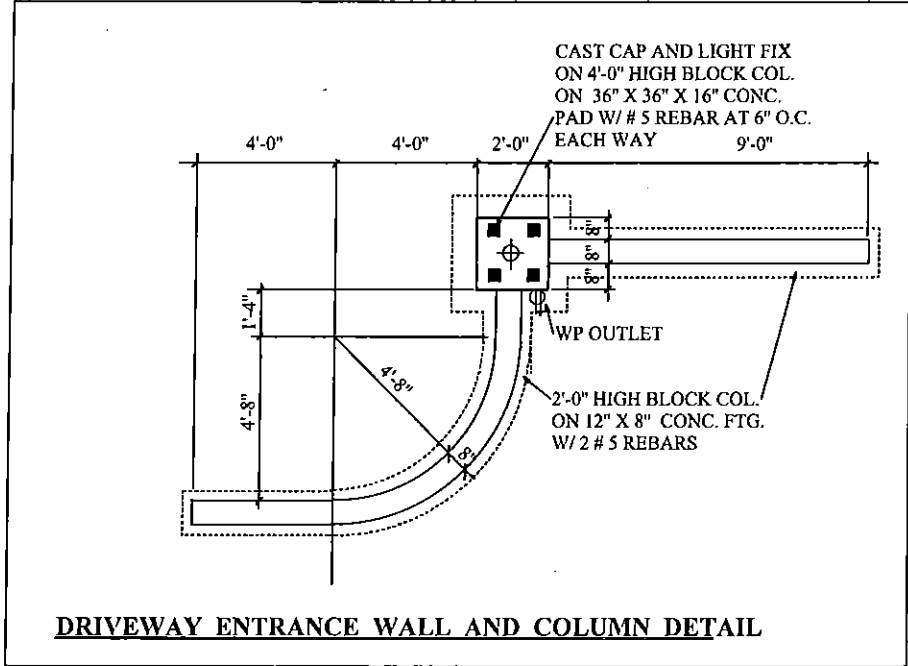
ALLEN ENGINEERING & CONSTRUCTION SERVICES
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 NEW PORT RICHEY, FL. 34656
 727-842-6100
 richallenpe@gmail.com

I HEREBY CERTIFY THAT I HAVE PREPARED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND IT IS IN COMPLIANCE WITH SECT. 901 OF THE 2010 FLORIDA RESIDENTIAL BUILDING CODE. I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA. I AM NOT PROVIDING THIS DESIGN FOR STRUCTURE ONLY.
 SIGNED: RICHARD E. ALLEN P.E. #56920

MINIERI RESIDENCE
 LOT 129 AUTUMN WOODS
 UNIT II
 TARPON SPRINGS, FL.

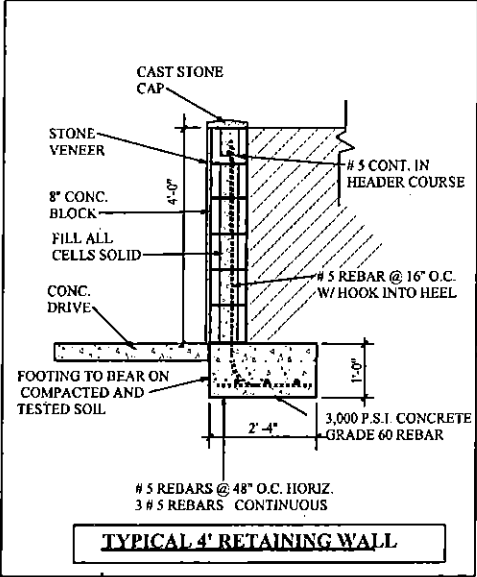
PLAN DATE	11-10-14	02-24-15
	11-20-14	03-10-15
	11-26-14	03-30-15
	1-5-15	04-17-15
	1-15-15	

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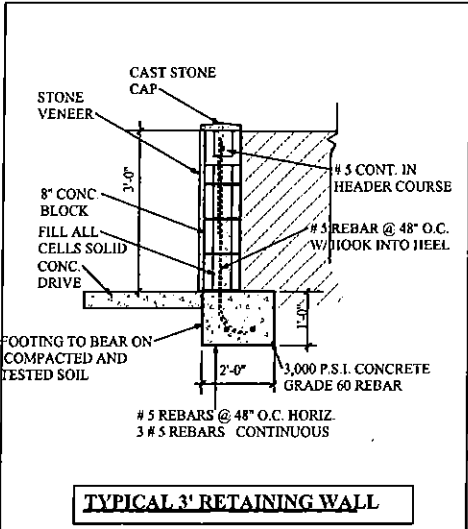


DRIVEWAY ENTRANCE WALL AND COLUMN DETAIL

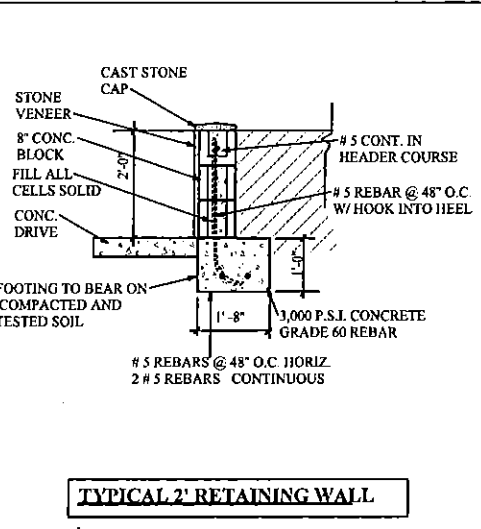
NOTE:
A 36" HIGH GUARD RAIL WILL NEED TO BE
INSTALLED ON TOP OF RETAINING WALL
WHEN THE DISTANCE FROM THE TOP TO
THE DRIVEWAY BELOW EXCEEDS 30"



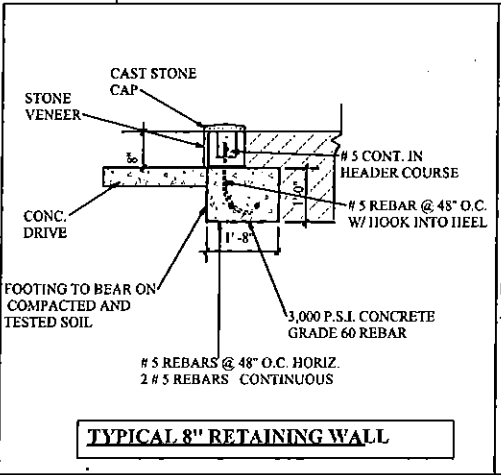
TYPICAL 4' RETAINING WALL



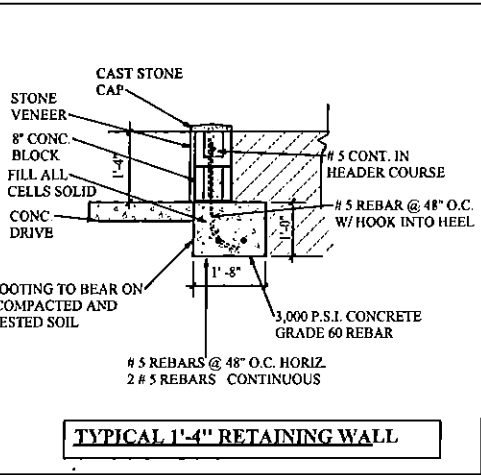
TYPICAL 3' RETAINING WALL



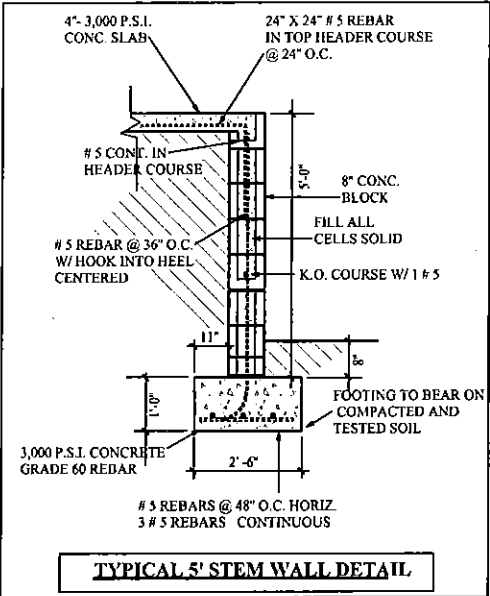
TYPICAL 2' RETAINING WALL



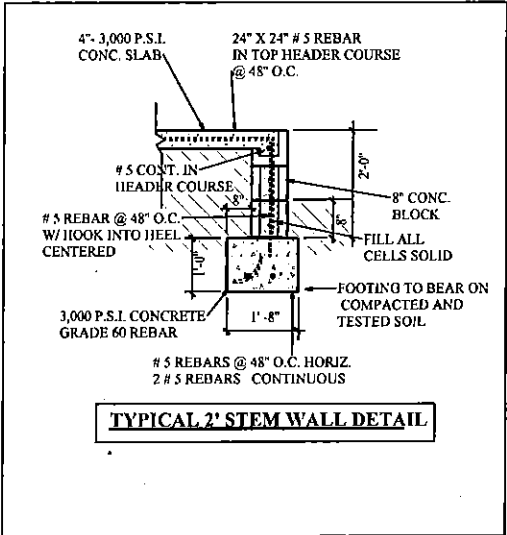
TYPICAL 8" RETAINING WALL



TYPICAL 1'-4" RETAINING WALL

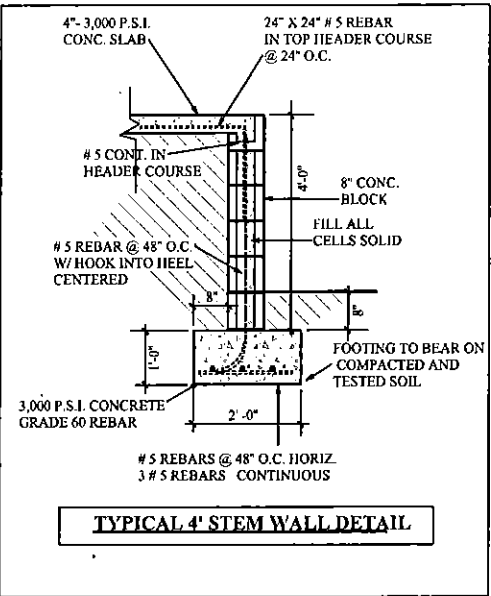


TYPICAL 5' STEM WALL DETAIL

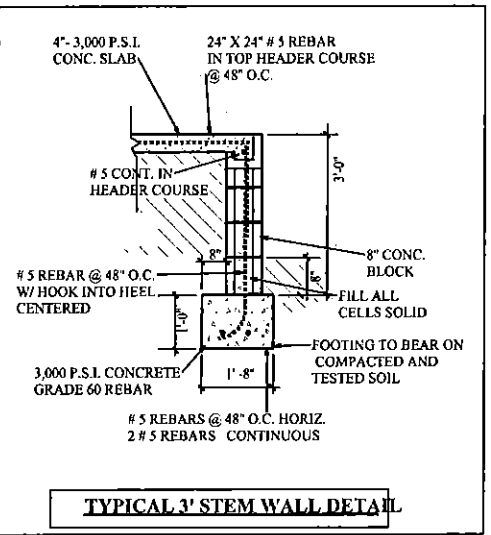


TYPICAL 2' STEM WALL DETAIL

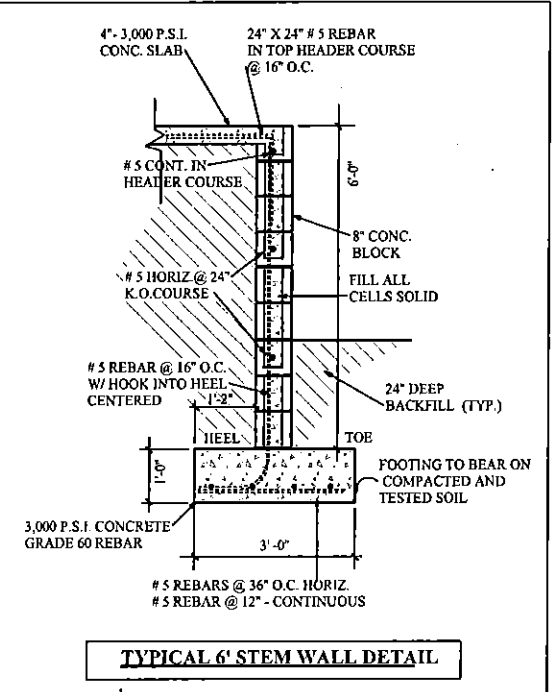
NOTE:
ALL VERTICAL REBAR TO BE
CENTERED IN 8" CMU WALL
FOR RETAINING AND STEM WALLS



TYPICAL 4' STEM WALL DETAIL



TYPICAL 3' STEM WALL DETAIL



TYPICAL 6' STEM WALL DETAIL

STEMWALL AND RETAINING WALL DETAILS

A.E.C.S. # 15006

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I HEREBY CERTIFY THAT I HAVE
PREPARED THE ATTACHED DESIGN
TO COMPLY WITH THE FLORIDA
UNIFORM BUILDING CODE AND IT IS IN COMPLIANCE
WITH SECT. 301 OF THE 2010 FLORIDA
RESIDENTIAL BUILDING CODE
SEALED FOR STRUCTURE ONLY
SIGNED
RICHARD E. ALLEN P.E. #6430

MINIERI RESIDENCE
LOT 129 AUTUMN WOODS
UNIT II
TARAPON SPRINGS, FL.

PLAN DATE	11-10-14	02-24-15
	11-20-14	03-10-15
	11-26-14	03-30-15
	1-5-15	04-17-15
	1-15-15	

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