

Date : 9/25/2013 Project No. : DEEB 3271 PLAN
 Company Name : Paul E Hagler, Consulting Engi Designed By : Paul E Hagler, PPE 20159
 Address : 1172 Fernwood Description : New Residence
 City : Holiday Customer Name : Deeb Family Homes
 State : FL 34690 Proj Location : Foxwood, Pinellas County, FL
 File Location: M:\000-Wind-Calculations\99-15-2013\Deeb-Robian-3271-Plan.vnd

Directional Procedure Simplified Diaphragm Building (Ch 27 Part 2)

All pressures shown are based upon ASD Design, with a Load Factor of .6

Basic Wind Speed(V)	=	145.00 mph	Exposure Category	=	C
Risk Category	=	II	Flexible Structure	=	No
Natural Frequency	=	N/A	Kd Directional Factor	=	0.85
Importance Factor	=	1.00	Zg	=	900.00 ft
Damping Ratio (beta)	=	0.01	Bt	=	1.00
Alpha	=	9.50	Bm	=	0.65
At	=	0.11	l	=	500.00 ft
Am	=	0.15	Zmin	=	15.00 ft
Cc	=	0.20	Slope of Roof(Theta)	=	26.57 Deg
Epsilon	=	0.20	Type of Roof	=	Hipped
Slope of Roof	=	6 : 12	Eht: Eave Height	=	10.00 ft
Ht: Mean Roof Ht	=	18.50 ft	Roof Area	=	6690.00 ft^2
RHt: Ridge Ht	=	27.00 ft	Bldg Length Along Ridge	=	85.00 ft
OH: Roof Overhang at Eave	=	1.50 ft	Bldg Width Across Ridge	=	65.00 ft

Gust Factor Summary
 Not a Flexible Structure use the Lesser of Gust1 or Gust2 = 0.85

Table 26.11-1 Internal Pressure Coefficients for Buildings, GCpi
 GCpi : Internal Pressure Coefficient = +/-0.18

Wind Pressure on Components and Cladding (Ch 30 Part 1)

All pressures shown are based upon ASD Design, with a Load Factor of .6

Width of Pressure Coefficient Zone "a" = 6.5 ft

Description	Width ft	Span ft	Area ft^2	Zone	Max GCp	Min GCp	Max P psf	Min P psf
10 sf Interior	2.00	5.00	10.0	4	1.00	-1.10	28.74	-31.17
10 sf Corner	2.00	5.00	10.0	5	1.00	-1.40	28.74	-38.48
20 sf Interior	4.00	5.00	20.0	4	0.95	-1.05	27.44	-29.88
20 sf Corner	4.00	5.00	20.0	5	0.95	-1.29	27.44	-35.89
50 sf Interior	8.00	5.00	40.0	4	0.89	-0.99	26.15	-28.58
50 sf Corner	8.00	5.00	40.0	5	0.89	-1.19	26.15	-33.30
100 sf Interior	14.30	7.00	100.1	4	0.82	-0.92	24.43	-26.87
100 sf Corner	14.30	7.00	100.1	5	0.82	-1.05	24.43	-29.87
200 sf Interior	28.60	7.00	200.2	4	0.77	-0.87	23.14	-25.58
200 sf Corner	28.60	7.00	200.2	5	0.77	-0.94	23.14	-27.28
Wall Interior	20.00	10.00	200.0	4	0.77	-0.87	23.14	-25.58
Wall Corner	6.50	10.00	65.0	5	0.86	-1.11	25.24	-31.49
Roof Interior	30.00	10.00	300.0	1	0.30	-0.80	16.00	-23.87
Roof eave	30.00	6.50	195.0	2	0.30	-1.20	16.00	-33.61
Roof corner	6.50	6.50	42.3	3	0.37	-2.22	16.00	-58.56
Roof eave overhang	30.00	1.50	45.0	2H	0.37	-2.20	16.00	-53.58
Roof corner ovehang	6.50	1.50	9.8	3H	0.50	-3.70	16.00	-90.11

Khcc:Comp. & Clad. Table 6-3 Case 1 = 0.89
 Qhcc:.00256*V^2*Khcc*Kht*Kd = 24.35 psf

NOTICE TO SUBCONTRACTORS :

DUE TO SPACE LIMITATIONS IN THIS 11"X 17" PLAN FORMAT, AND TO ELIMINATE CLUTTER AND TEXT READABILITY ISSUES, SOME DETAILS AND NOTATIONS MAY OR MAY NOT BE LOCATED ON THE SAME SHEETS OR IN THE SAME LOCATIONS AS PROVIDED FOR BY OTHER CONTRACTORS OR ARCHITECTS. IT WOULD BE IN YOUR BEST INTREST TO REVIEW THESE PLANS AND LOCATE THE APPROPRIATE INFORMATION REQUIRED TO COMPLETE YOUR SPECIFIC PORTION OF THE JOB BEFORE BEGINNING CONSTRUCTION.

NOTICE TO BUILDER

IT IS THE INTENT OF THIS DESIGNER THAT THESE PLANS ARE ACCURATE AND ARE CLEAR ENOUGH FOR THE LICENSED PROFESSIONAL TO CONSTRUCT THIS PROJECT. IN THE EVENT THAT SOMETHING IS UNCLEAR OR NEEDS CLARIFICATION..STOP..AND CALL THE DESIGNER LISTED IN THIS TITLE PAGE. IT IS THE RESPONSIBILITY OF THE LICENSED PROFESSIONAL THAT IS CONSTRUCTING THIS PROJECT TO FULLY REVIEW THESE DOCUMENTS BEFORE CONSTRUCTION BEGINS AND ANY AND ALL CORRECTIONS, IF NEEDED, TO BE MADE BEFORE ANY WORK IS DONE.

GENERAL NOTES:

THE FOLLOWING TECHNICAL CODES SHALL APPLY:
 2010 FLORIDA BUILDING CODE,
 PLUMBING, MECHANICAL, FUEL GAS,
 ENERGY EFFICIENCY, ACCESSIBILITY,
 AND NATIONAL ELECTRICAL CODES
 NEC 2008

- TANK TYPE WATER CLOSET VOLUME
1.6 GALLONS
- WALL MOUNT WATER CLOSET VOLUME
3.5 GALLONS
- WATER - FLOW RATE.
PUBLIC FACILITIES 0.5 G.P.M.
PRIVATE FACILITIES 2.2 G.P.M.
SHOWER HEADS 2.5 G.P.M.

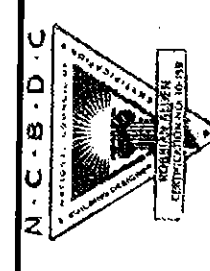
VTR LOCATIONS ARE APPROXIMATE AND MAY CHANGE DUE TO JOBSITE CONDITIONS

THE FOLLOWING SHALL COMPLY WITH THE 2010 FBC.

- PORCHES AND BALCONIES
 - HANDRAILS
 - GUARDRAILS
 - STAIRS
 - CHIMNEY & FIREPLACE
 - EGRESS WINDOWS
- ALL OPENINGS SHALL COMPLY WITH 2010 FBC WIND LOADS AS STATED BELOW. ATTACHMENTS OF WINDOWS, DOORS, SLIDING GLASS DOORS AND O.H. GARAGE DOORS ARE DELEGATED TO THE MANUFACTURER OF THESE ITEMS. THE MANUFACTURER OF THESE ITEMS SHALL SUBMIT ATTACHMENTS TO ENGINEER OF RECORD FOR REVIEW PRIOR TO INSTALLATION. SEE ATTACHED SPECIFICATION SHEETS FOR MANUFACTURERS DESIGN CRITERIA AND INSTALLATION METHODS FOR WINDOWS, DOORS, SLIDING GLASS DOORS, OVERHEAD GARAGE DOORS, AND ROOFING.
 - ALL DOORS INTERIOR & EXTERIOR ARE 8' 0" UNLESS OTHERWISE NOTED
ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS
 - ALL WINDOWS WITHIN 24" OF DOORS (INTERIOR & EXTERIOR) AND WITHIN 18" OFF FLR TO BE TEMPERED GLASS.

SOFTPLAN
 ARCHITECTURAL DESIGN SOFTWARE

AIBD
 7059 Blair Road NW
 Suite 201
 Washington DC 20012



INDEX OF DRAWINGS

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COVER SHEET



DEEB FAMILY HOMES, LTD.
 9400 RIVER CROSSING BLD.
 NEW PORT RICHEY, FL 34655
 727-376-6831

PLAN DATE
9-11-2013
9-18-2013
10-1-2013

INVENTORY
 LOT 5 FOXWOOD
 PINELLAS COUNTY

I certify that I have reviewed the drawings described on these plans and determined that they have been designed in accordance with the structural requirements of the FBC2010. No mechanical, electrical or plumbing components were included in this certification.
 Signed: Paul E. Hagler, PPE 20159
 OCT 09 2013

SCIENTISTS AND ENGINEERS
 1280 Heather Ridge Boulevard
 Dunedin, FL 34698
 727-738-9025

UNIT 3271

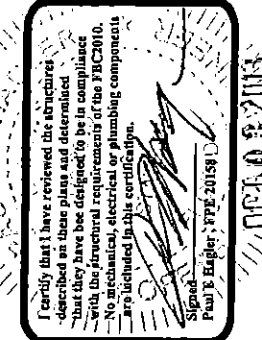
STRUCTURAL ENGINEER NOTES

UNIT 3271

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INVENTORY LOT 5 FOXWOOD PINELLAS COUNTY

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S1

ENGINEER'S NOTES:

ENGINEER RESERVES THE RIGHT TO MAKE MODIFICATIONS AS CONSTRUCTION PROGRESSES. THIS IS A REMODEL TO AN EXISTING HOME, AND AS SUCH, EXISTING CONDITIONS MUST BE ASSESSED BY CONTRACTOR. QUESTIONABLE AREAS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD. ENGINEER HAS DONE NO FIELD INVESTIGATION PRIOR TO CONSTRUCTION. EXISTING CONDITIONS INDICATED IN THIS PLAN SET ARE ASSUMED. CONTRACTOR TO INFORM ENGINEER OF ANY DIFFERENCE IN DIMENSION OR BEARING AS DEMOLITION COMMENCES. ENGINEER MAY REQUIRE ADDITIONAL SUPPORT OR MAY MAKE CHANGES TO ATTACHMENT CRITERIA AS WORK PROGRESSES. CONTRACTOR IS NOT TO ASSUME ANYTHING, BUT IS TO CONSULT WITH ENGINEER FOR CLARIFICATION OF ANY PLAN NOTES OR FIELD CONDITION FOUND TO DIFFER FROM THOSE PRESENTED IN THE PLANS.

ALL PRE-ENGINEERED WOOD PRODUCTS ARE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER. THE TRUSS ENGINEER IS A DELEGATED ENGINEER FOR THIS PROJECT, AND AS SUCH, IS RESPONSIBLE FOR THE VALIDITY OF THE COMPONENTS PROVIDED. FRAMING LAYOUTS SHOWN MAY BE CHANGED BY THE TRUSS MANUFACTURER. THE DELEGATED ENGINEER IS RESPONSIBLE FOR PROVIDING A FINAL SEALED SET OF ALL CALCULATIONS AND LAYOUTS FOR THE PROJECT TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO MANUFACTURE OF SAID COMPONENTS. ENGINEER OF RECORD HAS NOT REVIEWED THE PRE-ENGINEERED TRUSS MANUFACTURER'S COMPONENTS AT THIS TIME AND RESERVES THE RIGHT TO MAKE ANY CHANGES AFTER SUCH INFORMATION HAS BEEN PROVIDED FOR REVIEW. CONTRACTOR, AS PROJECT COORDINATOR, SHALL BE RESPONSIBLE FOR INSURING INFORMATION REQUESTED ABOVE HAS BEEN SUBMITTED TO ENGINEER OF RECORD IN A TIMELY MANNER WHEN AVAILABLE.

ALL PRE-ENGINEERED TRUSSES TO BE DESIGNED USING THE MOST RECENT TC CRITERIA. TRUSSES TO BE HANDLED AND INSTALLED USING MOST RECENT BCN RECOMMENDATIONS. TEMPORARY AND PERMANENT BRACING SHALL BE PER MOST RECENT BCN RECOMMENDATIONS UNLESS NOTED OTHERWISE, OR MORE STRINGENT CODE REQUIREMENTS APPLY. TRUSS ENGINEER IS RESPONSIBLE FOR INDICATING ALL TRUSS TO TRUSS CONNECTORS. ALL COMPONENTS TO BE DESIGNED FOR BOTH GRAVITY AND UPLIFT LOAD CASES, INCLUDING BEAM COMPONENTS.

UPON REVIEW, ENGINEER OF RECORD WILL PROVIDE A REVIEW LETTER INDICATING ANY CHANGE IN BRACING OR SUPPORT BASED ON THAT REVIEW. CONSTRUCTION COMMENCING PRIOR TO ENGINEER'S REVIEW IS SUBJECT TO MODIFICATION BASED ON REVIEW LETTER.

CODE COMPLIANCE NOTES:

PRE-CAST AND PRE-STRESSED CONCRETE COMPONENTS SHALL BE USED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS. PRE-CAST LINTELS HAVE BEEN REVIEWED AND PLACED BASED ON DESIGN ALLOWABLE LOAD INFORMATION PROVIDED BY CAST CRETE. THEREFORE, CAST CRETE IS A DELEGATED ENGINEER FOR THIS PROJECT. ENGINEER OF RECORD MUST APPROVE IN WRITING ANY CHANGE IN LINTEL MANUFACTURER. ALL OTHER STRUCTURAL PRE-CAST COMPONENT MANUFACTURERS MUST SUBMIT DESIGN LOAD INFORMATION TO ENGINEER OF RECORD FOR APPROVAL. ENGINEER OF RECORD RESERVES THE RIGHT TO MAKE ANY CHANGES AFTER SUCH INFORMATION HAS BEEN PROVIDED FOR REVIEW. CONTRACTOR, AS PROJECT COORDINATOR, SHALL BE RESPONSIBLE FOR INSURING INFORMATION REQUESTED ABOVE HAS BEEN SUBMITTED TO ENGINEER OF RECORD IN A TIMELY MANNER WHEN AVAILABLE.

ALL MANUFACTURED PRODUCTS SUCH AS ROOFING, WINDOWS, DOORS, ETC. ARE SHOWN HEREIN FOR ILLUSTRATION PURPOSES ONLY. THE INFORMATION SHOWN IS THE RESPONSIBILITY OF THE MANUFACTURER. THE MANUFACTURER IS RESPONSIBLE FOR THE VALIDITY OF THE COMPONENTS PROVIDED. ATTACHMENT INFORMATION GIVEN BY THE MANUFACTURER IS PROVIDED HEREIN. CONTRACTOR, AS PROJECT COORDINATOR, SHALL BE RESPONSIBLE FOR INSURING THAT THE APPROPRIATE PRODUCT/COMPONENT IS USED AND THAT

IT HAS BEEN INSTALLED PER MANUFACTURER'S SPECIFICATIONS SUCH THAT IT WILL WITHSTAND THE COMPONENTS AND CLADDING PRESSURES REQUIRED BY THE SEALED PLANS.

ENGINEER OF RECORD HAS NOT REVIEWED THIS INFORMATION FOR APPLICABILITY OR AS A FORM OF PRODUCT APPROVAL OR ENDORSEMENT.

GENERAL NOTES:

FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPARATE LAYOUT AND TRUSS COMPONENT DESIGN SKETCH AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER.

ALL PRE-ENGINEERED WOOD PRODUCTS SHALL BE VERIFIED BY TRUSS MANUFACTURER. TRUSS MANUFACTURER SHALL HAVE THE AUTHORITY TO MAKE SUBSTITUTIONS FOR PRODUCTS SPECIFIED ON THE PLANS DUE TO AVAILABILITY OR ECONOMIC. CHANGES SPECIFIED BY THE TRUSS MANUFACTURER SHALL CONTROL. CHANGES MADE AFTER TRUSS ENGINEERING HAS BEEN PROVIDED TO ENGINEER OF RECORD, MUST BE APPROVED BY THE ENGINEER OF RECORD.

1. ALL EXTERIOR WALLS ARE SHEAR WALLS NO INTERIOR SHEAR WALLS ARE REQUIRED ON THIS

2. ALL EXTERIOR WINDOWS & GLASS DOORS ARE REQUIRED TO BE TESTED IN ACCORDANCE WITH ANSI/AMMA/WWDA 102/82 STANDARD AND BEAR AN AMMA OR WDMA LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT TESTING ENTITY.

ALL PLUMBING, ELECTRICAL, AND MECHANICAL ROUGH INS MUST BE COMPLETE, INSPECTED, AND APPROVED BEFORE REQUESTING THE FRAMING INSPECTION.

2. DESIGN CRITERIA:

- 2.1 ROOF LOADING
LIVE 20 PSF @ 1.25 DURATION FACTOR
30 PSF @ 1.33 DURATION FACTOR
DEAD 17 PSF FOR SHINGLE
25 PSF FOR TILE
- 2.2 FLOOR LOADING
LIVE 40 PSF @ 1.00 DURATION FACTOR
DEAD 15 PSF
- 2.3 BALCONY LOADING
LIVE 60 PSF @ < 100 SF, - OVER 100 SF, = 100 PSF
DEAD 15 PSF
- 2.4 FOR FLOORING MATERIALS HEAVIER THAN 5 PSF, CONTACT ENGINEER OF RECORD FOR RECOMMENDATIONS.
- 2.5 WIND LOADING
SEE TABLE FOR CRITERIA
DEAD MAXIMUM 10 PSF FOR SHINGLE
15 PSF FOR TILE

1. CODES AND REFERENCES:

- 1.1 FLORIDA BUILDING CODE, RESIDENTIAL 2010.
- 1.2 AMERICAN CONCRETE INSTITUTE OF STRUCTURAL CONCRETE (ACI 318)
- 1.3 AMERICAN CONCRETE INSTITUTE OF MASONRY STRUCTURES (ACI-530/ASCE-5/TMS 402 AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6/TMS 602)
- 1.4 AMERICAN SOCIETY OF CIVIL ENGINEERS MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE-7)
- 1.5 SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS LATEST EDITION
- 1.6 DESIGN SPECIFICATION FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES BY THE TRUSS PLATE INSTITUTE (TPI) LATEST EDITION
- 1.7 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) LATEST EDITION
- 1.8 AMERICAN PLYWOOD ASSOCIATION DESIGN / CONSTRUCTION GUIDE (APA) LATEST EDITION

2. SOIL:

- 3.1 DESIGN ASSUMES MINIMUM ALLOWABLE SOIL PRESSURES 2,000 PSF U.N.O.
- 3.2 CONTRACTOR TO FIELD VERIFY

4. CONCRETE:

- 4.1 OPERATION INSTALLATION AND PRECEDURE TO COMPLY WITH ACI STANDARDS
- 4.2 CONCRETE & MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS U.N.O.
- 4.3 REINFORCEMENT REBARS ASTM A615 GRADE 40 U.N.O.
- 4.4 WELD WIRE FABRIC (WWF ASTM A185) OR FIBERMESH
- 4.5 LAP SPLICES AND HOOKS SEE TABLE.

5. MASONRY:

- 5.1 MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATION FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6/TMS 602)." CONCRETE INSTITUTE, FARMINGTON HILLS, MICHIGAN; AND THE AMERICAN SOCIETY OF CIVIL ENGINEERS, RESTON, VIRGINIA; EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
- 5.2 GENERAL SPECIFICATION FOR MASONRY STRUCTURES
- 5.2.1 TESTING OF FIELD MATERIALS FOR QUALITY CONTROL IS NOT REQUIRED BY ENGINEER FOR THIS PROJECT
- 5.2.2 COMPRESSIVE STRENGTH REQUIREMENTS IS $f_m = 1500$ PSI
- 5.2.3 DETERMINATION OF COMPRESSIVE STRENGTH IS THE ALLOWABLE STRESS METHOD
- 5.2.4 UNIT STRENGTH METHOD IS NOT APPLICABLE
- 5.2.5 QUALITY ASSURANCE IS NOT APPLICABLE
- 5.3 PRODUCTS
- 5.3.1 MORTAR MATERIALS SHALL BE TYPE M OR S GRAY MORTAR.
- 5.3.2 MASONRY UNIT MATERIALS SHALL BE 1900 PSI MIN. CONCRETE MASONRY UNIT.
- 5.3.3 REINFORCEMENT, PRE-STRESSED TENDONS, AND METAL ACCESSORIES SHALL BE 40 KSI REBAR (MIN.)
- 5.3.4 WELDED WIRE FABRIC TO BE INSTALLED AS SPECIFIED ON PLAN SET.
- 5.3.5 STAINLESS STEEL IS NOT APPLICABLE
- 5.3.6 COATING FOR CORROSION PROTECTION IS NOT APPLICABLE
- 5.3.7 CORROSION PROTECTION FOR TENDONS IS NOT APPLICABLE
- 5.3.8 PRE-STRESSING ANCHORAGE, COUPLERS, AND END BLOCKS ARE NOT APPLICABLE
- 5.3.9 JOINT FILLERS ARE NOT APPLICABLE
- 5.3.10 LINTELS TO BE BY CAST-CRETE U.N.O.
- 5.4 EXECUTION
- 5.4.1 PIPES AND CONDUITS ARE NOT APPLICABLE
- 5.4.2 ACCESSORIES ARE NOT APPLICABLE
- 5.4.3 EXPANSION AND CONTROL JOINTS SHALL BE AS INDICATED IN PLAN SET.

6. WOOD FRAMING:

- 6.1 DIMENSIONED LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.
- 6.2 ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
- 6.3 FRAMING WALLS AND COLUMNS
 - 6.3.1 MINIMUM OF 3 PLY STUD COLUMNS TO BE INSTALLED AT BEAM OR GIRDER TRUSS BEARING LOCATIONS, UNLESS NOTED OTHERWISE
 - 6.3.2 S.Y.P. #1 GRADE OR BETTER FASTEN PLYS TOGETHER USING 16d COMMON NAILS 6" O.C. AS EACH MEMBER IS APPLIED (U.N.O.)
 - 6.3.3 4 PLY OR AND LARGER STUD COLUMNS SHALL BE FASTENED TOGETHER AS STATED ABOVE PLUS C316 COIL STRAPPING WRAPPED AROUND COLUMN WITH A 4" END CAP AT 16" O.C. OR 1/2" < THRU BOLTS AT 24" O.C.

- 6.3.4 ALL EXTERIOR FRAMING LUMBER SHALL BE #1 SYP OR EQUAL
- 6.3.5 INTERIOR LOAD BEARING (IF APPLICABLE) WALLS SPACED AT 16" O.C.
- 6.3.7 INTERIOR NON-LOAD BEARING WALLS SHALL BE UTILITY GRADE OR BETTER
- 6.3.8 INSTALL BLOCKING IN ALL WALL STUDS OVER 8'-0" AT MID-HEIGHT, AND SHEATHING JOINT, BRACH GABLE END WALLS AT 4'-0" O.C. AS SHOWN IN DRAWINGS
- 6.4 ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED OR NATURAL DURABLE WOOD.
- 6.5 PRESSURE TREATED LUMBER SHALL BE IMPREGNATED WITH A CCA SALT TREATMENT IN ACCORDANCE WITH F.B. 11-W-571 AND BARE
- 6.6 THE AMERICAN WOOD PRESERVES INSTITUTE EQUALITY MARK LP-2, A.P.A. RATED SHEATHING EXTERIOR GRADE. ALL ROOF SHEATHING TO INSTALLED WITH FLY CLIPS (MAXIMUM 24" O.C.) (SEE PLANS FOR SHEATHING THICKNESS.) FOR ALL SHEATHING
- ATTACHMENT, SEE TYPICAL NAILING SCHEDULE
- 6.6.1 ROOF: SINGLE, 7/16" MIN. THICK SUPPORTED OVER 24" MAX. SPAN
TILE, 1/2" MIN. THICK SUPPORTED OVER 24" MAX. SPAN
WALL: 7/16" MIN. THICK SUPPORTED OVER 24" MAX. SPAN
- 6.6.2 FLOOR: CARPET, VINYL, WOOD, ETC., 3/4" MIN. TONGUE AND GROOVE SUPPORTED OVER 24" MAX. SPAN
- 6.6.3 CERAMIC TILE, MARBLE, ETC., SEE MANUFACTURERS RECOMMENDATIONS.
- 6.7 ALL NAILING AND BOLTING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS. ALL NAILS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- 6.8 ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG TIE CO., USP, OR EQUIVALENT. SUBMIT CUT SHEETS FOR ALL CONNECTION HARDWARE TO ENGINEER FOR APPROVAL. ALL NAIL HOLES SHALL BE FILLED OR AS PRESCRIBED BY THE MANUFACTURER.
- 6.9 BRACING: TEMPORARY BRACING OF THE ROOF SYSTEM SHALL BE INSTALLED PER HB-91 RECOMMENDATIONS AND SHALL BE UTILIZED AS THE PERMANENT BRACING FOR THE ROOF SYSTEM (U.N.O.)
- 6.10 ALL WOOD FRAMING SHALL BE IN COMPLIANCE WITH THE LATEST NDS EDITION FOR WOOD CONSTRUCTION.
- 6.11 ALL WOOD LOAD BEARING COMPONENTS TO BE #1 SYP. NON LOAD BEARING COMPONENTS MAY BE SYP (UTILITY GRADE OR BETTER)

NOTES:

MISSING DOWELS: WHERE FOOTING DOWELS ARE PLACED INCORRECTLY OR MISTAKENLY ELIMINATED, REPLACE DOWEL AT PROPER LOCATION W/ GRADE 40 #5 BAR. INSTALL IN SLAB W/ 5" MINIMUM EMBEDMENT, USE EPOXY GROUT.

MISSING TRUSS ANCHORS: TRUSSES WHICH ARE PLACED SUCH THAT AN EMBEDMENT ANCHOR IS MISPLACED OR MISSING MAY BE FASTENED TO THE MASONRY BOND BEAM USING ONE SIMPSON MT3M16 W/ (4) 1/4"x2 1/4" TITEN SCREWS AND 7-10 D NAILS IN TRUSS. MAS CAP IS 840 #.

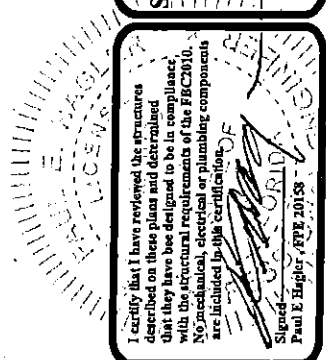
STRUCTURAL ENGINEER NOTES

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INVENTORY
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S2



SCIENTISTS AND ENGINEERS
1280 Heather Ridge Boulevard
Dunedin, FL 34698
727-738-9025

UNIT 3271

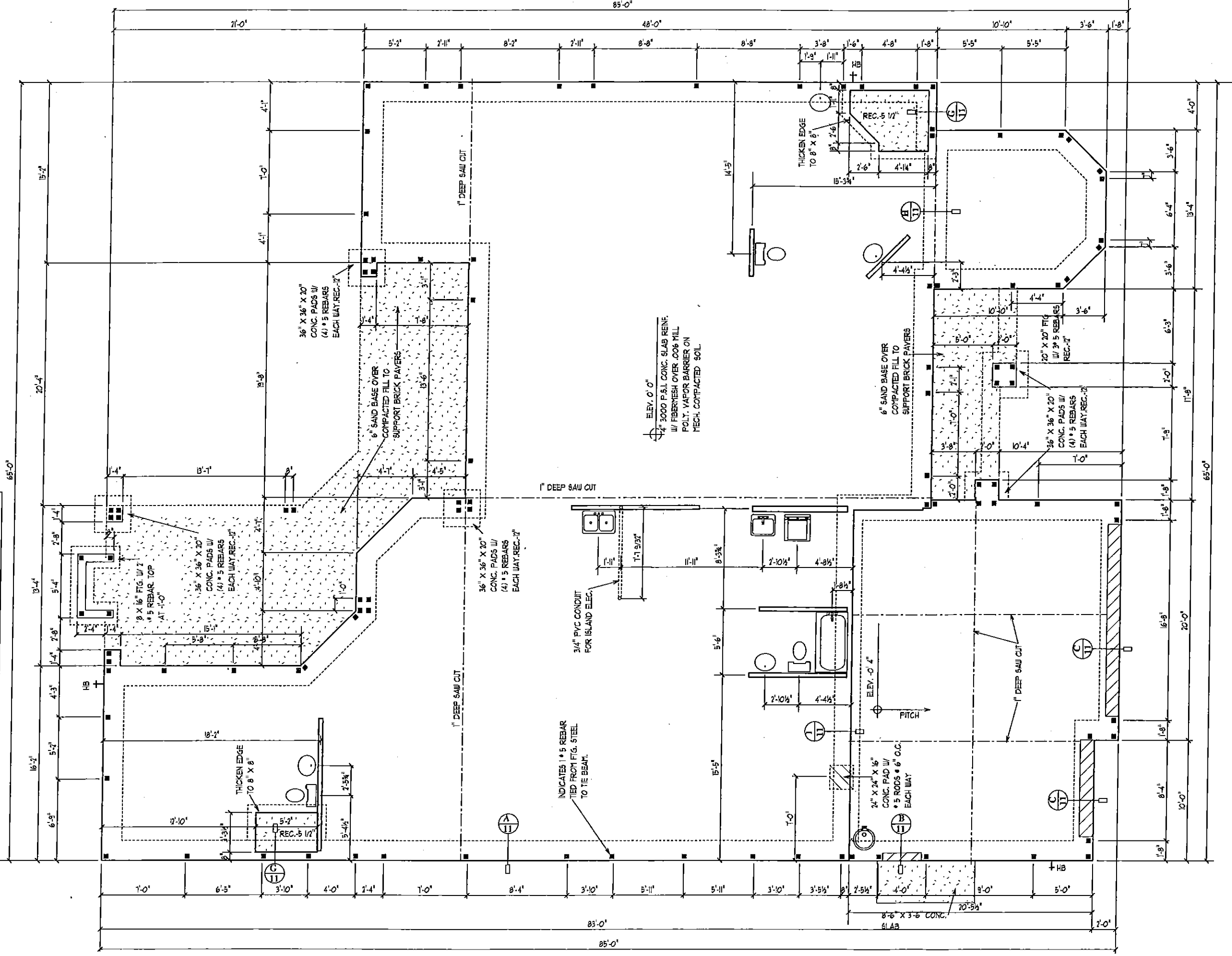
NOTES

- 1) THE FOUNDATION SYSTEM FOR THIS PLAN IS DESIGNED FOR A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 2000 P.S.F. WITH NO SOILS REPORT OR INFORMATION PROVIDED.
- 2) FOOTINGS TO BEAR MIN. 12" BELOW GRADE.
- 3) FOOTINGS TO BEAR ON UNDISTURBED SOIL BETWEEN LESS THAN 12" LIFTS.
- 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
- 5) REFER TO STRUCTURAL ENGINEER NOTES.

SYNTHETIC FIBER REINFORCEMENT IN CONCRETE FOR SLAB-ON GRADE SHALL COMPLY WITH FBC SECT. 1912 (EXCEPTION 1)

TERMITE SPECIFICATIONS:
INSTALL "BORA-CARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

DRIVEWAY SPEC.
DRIVEWAY NOT IN RIGHT OF WAY AND ALL SIDEWALKS TO BE 4" 3000PSI CONC. W/ FIBERMESH.
DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI CONCRETE WITH FIBERMESH AND WIRE REINFORCEMENT.



FOUNDATION PLAN

SCALE 1/8" = 1'-0"

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LOT 5 FOXWOOD
PINELLAS COUNTY

I certify that I have reviewed the structures described on these plans and designated them as being designed to be in compliance with the structural requirements of the FBC 2010. My task included, electrical or plumbing components are included in my investigation.

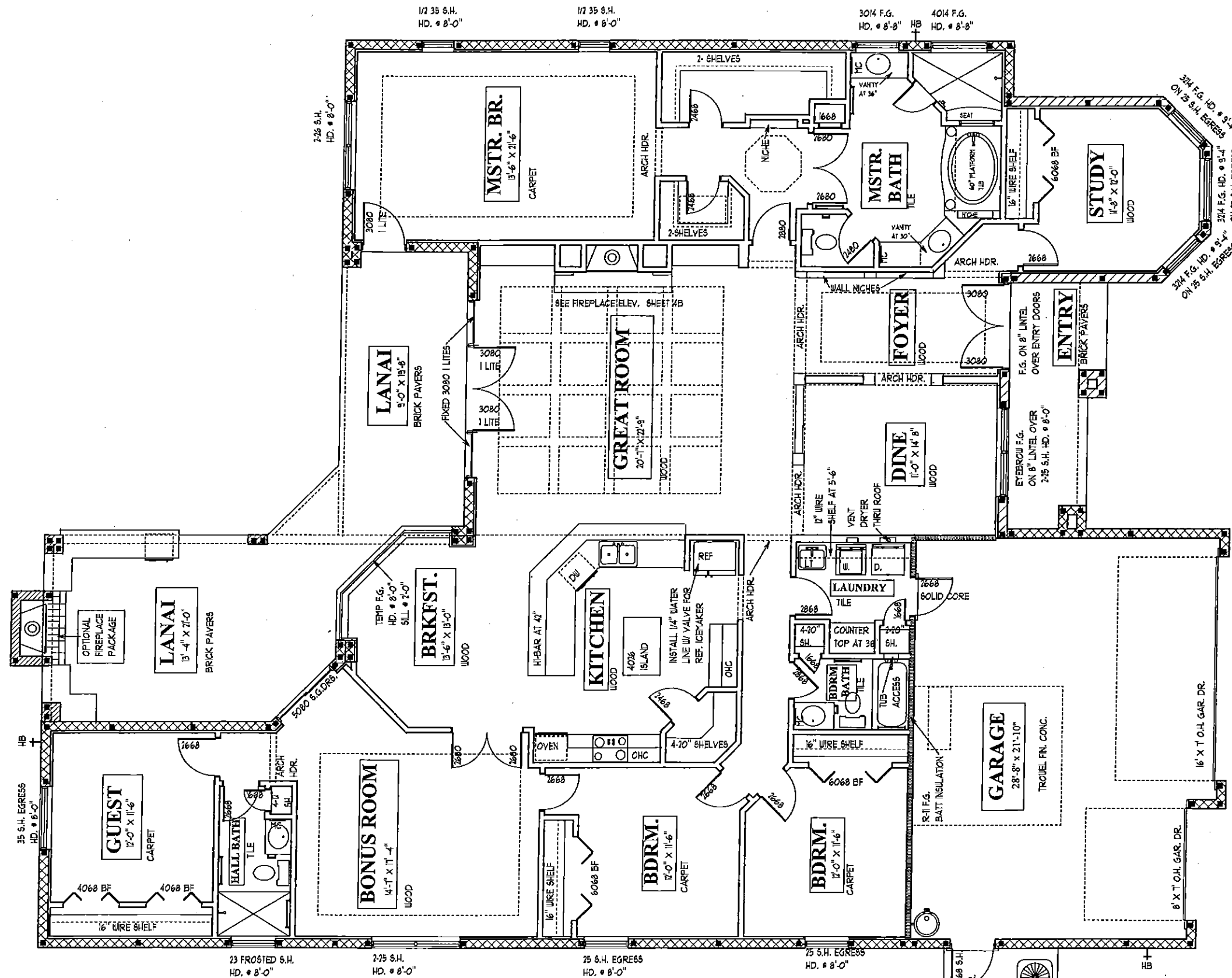
PAUL E. BRADLEY
PAUL E. BRADLEY, P.E. 20158

APPROVAL OCT 09 2013

UNIT 3271

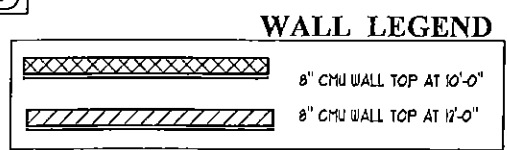
SCIENTISTS AND ENGINEERS
1280 Heather Ridge Boulevard
Dunedin, FL 34698
727-758-9025

1



SQUARE FOOTAGES

LIVING AREA - 3271 S.F.
GARAGE - 656 S.F.
LANAI - 450 S.F.
ENTRY - 112 S.F.
TOTAL - 4489 S.F.



UNIT 3271

SCALE 1/8" = 1' 0"

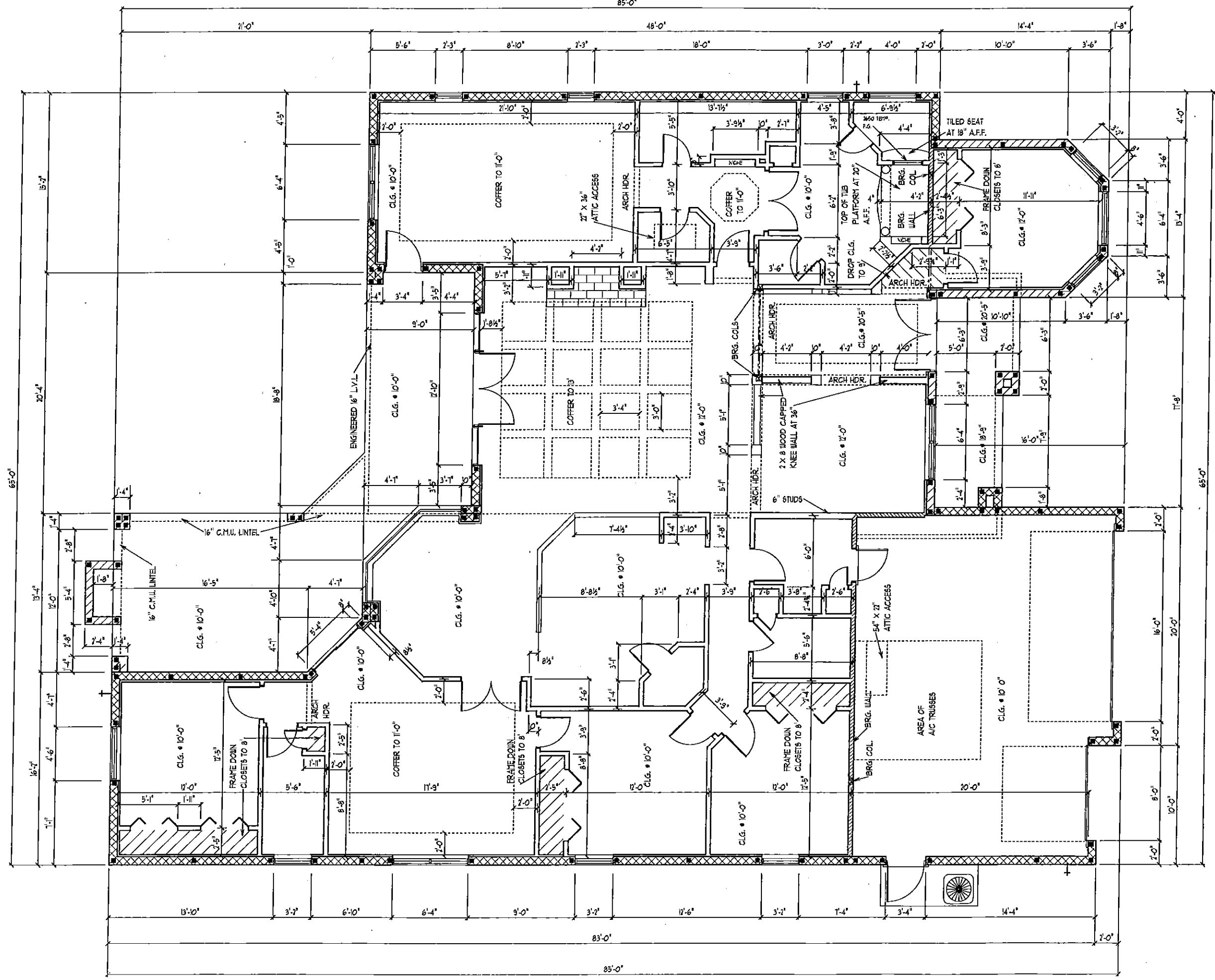
FIRST FLOOR PLAN NOTES

INVENTORY
LOT 5 FOXWOOD
PINELLAS COUNTY

PLAN DATE
9-11-2013
9-18-2013
10-1-2013

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

2



DIMENSION PLAN

SCALE 1/8" = 1'-0"

3

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 9400 RIVER CROSSING BLD.
 NEW PORT RICHEY, FL. 34655
 727-376-6831

PLAN DATE
9-11-2013
9-18-2013
10-1-2013

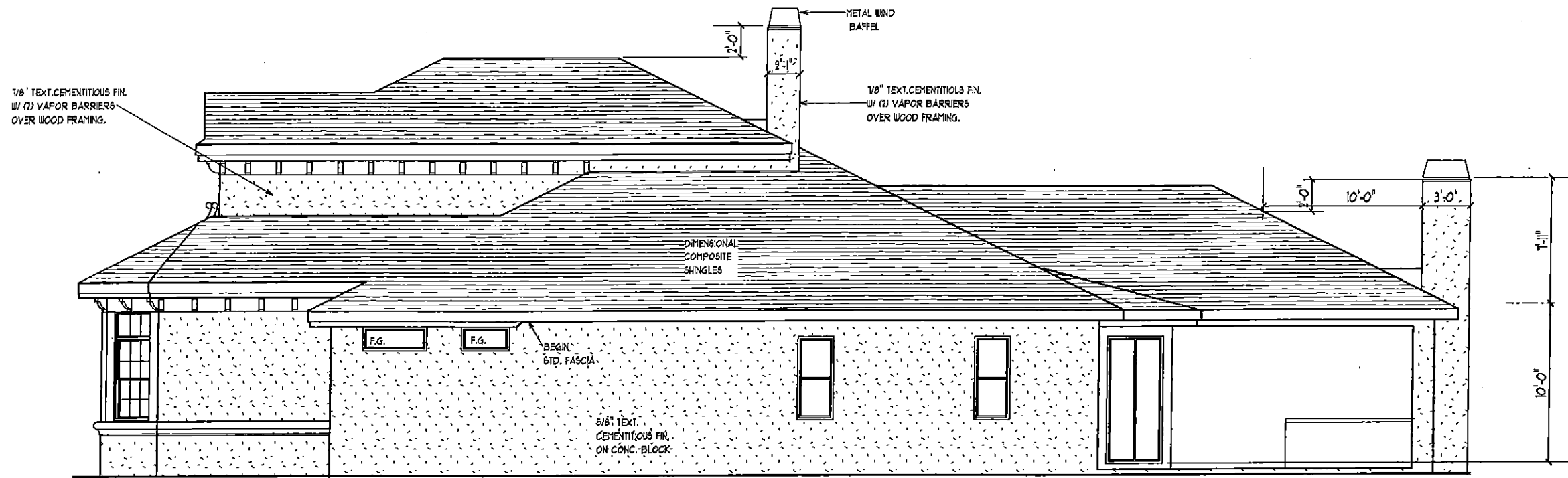
INVENTORY
LOT 5 FOXWOOD
PINELLAS COUNTY

I certify that I have reviewed the structure described on these plans and determined that they have been designed in compliance with the requirements of the FBC2010. No mechanical, electrical or plumbing components are included in this certificate.

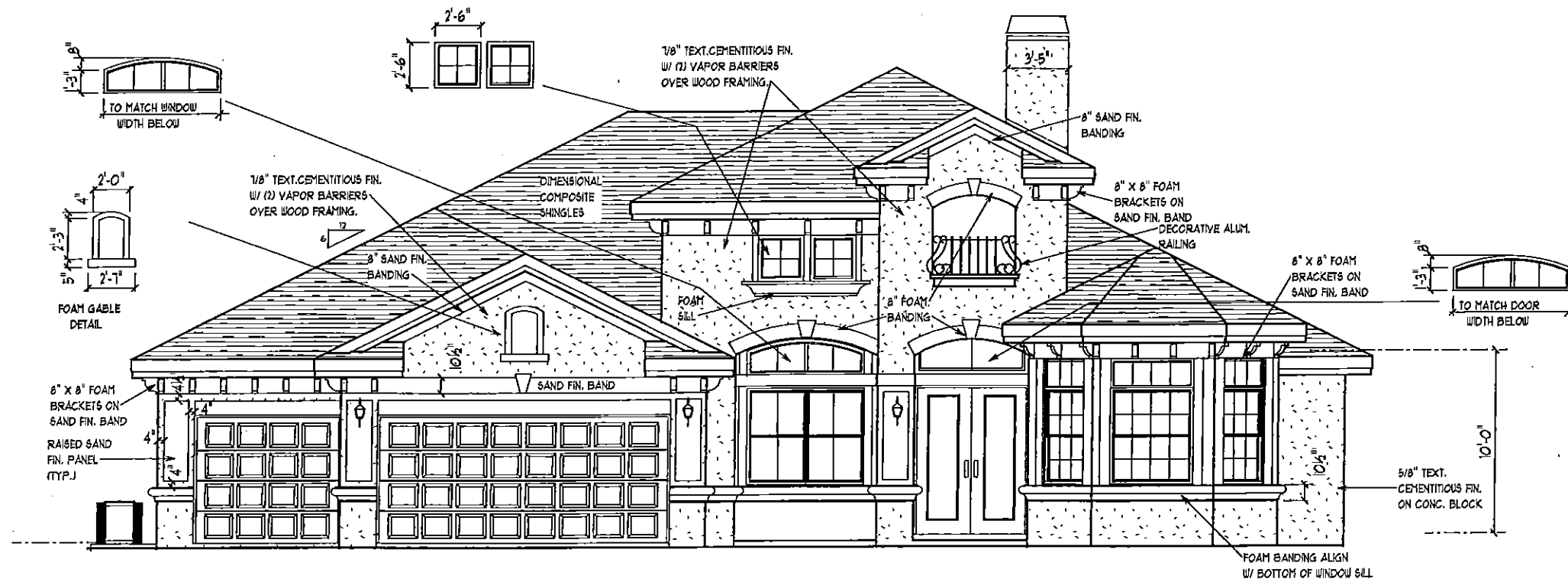
Signed
 Paul E. Hejler, P.E. 20138

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RIGHT SIDE ELEVATION

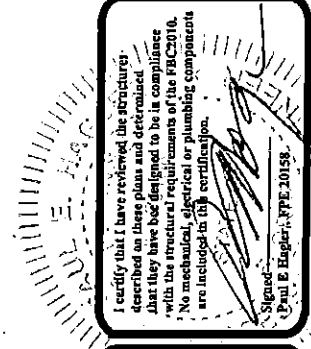


FRONT ELEVATION

EXTERIOR ELEVATIONS - A

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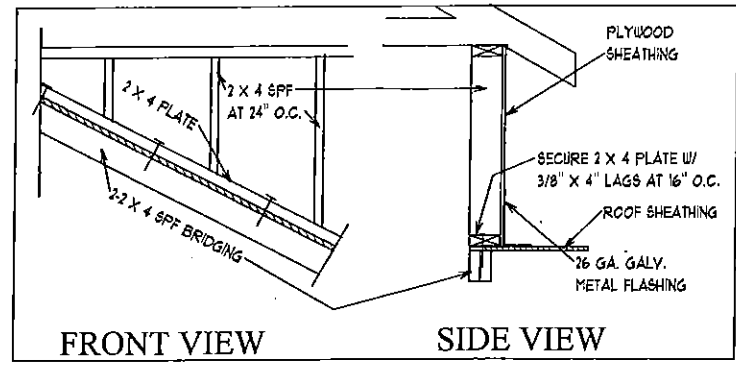
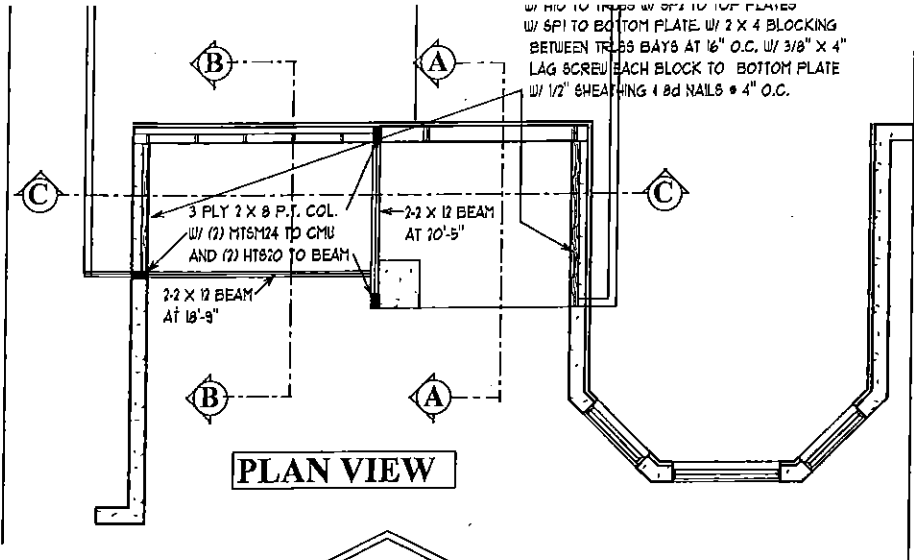
INVENTORY
LOT 5 FOXWOOD
PINELLAS COUNTY

PLAN DATE
9-11-2013
9-18-2013
10-1-2013

DEEB FAMILY
HOMES, LTD.
 9400 RIVER CROSSING BLD.
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4

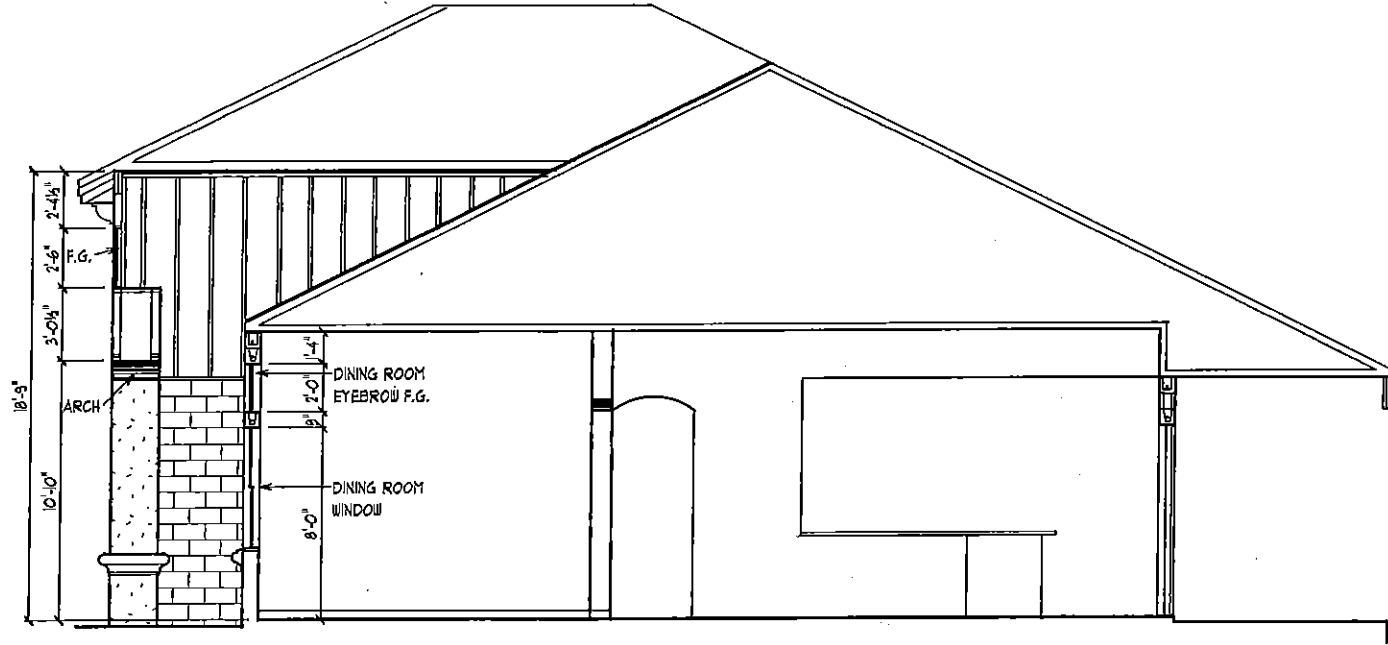
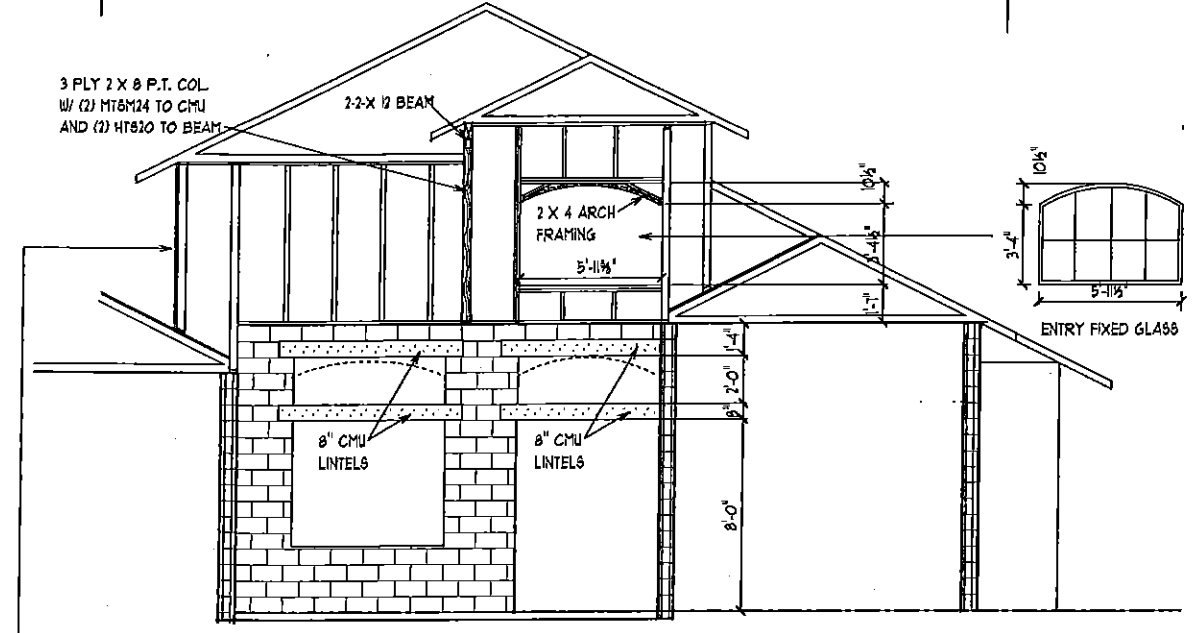
2013 OCT 03 10:03 AM



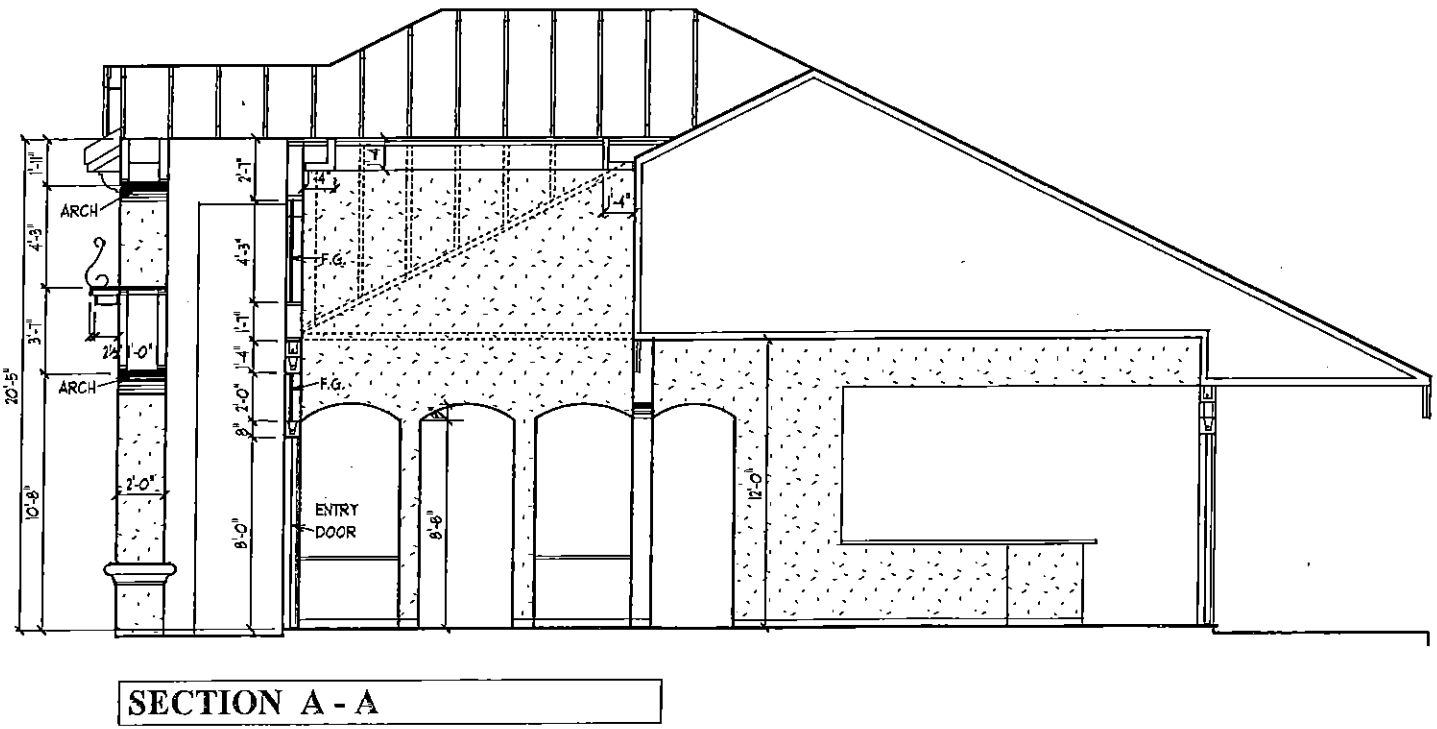
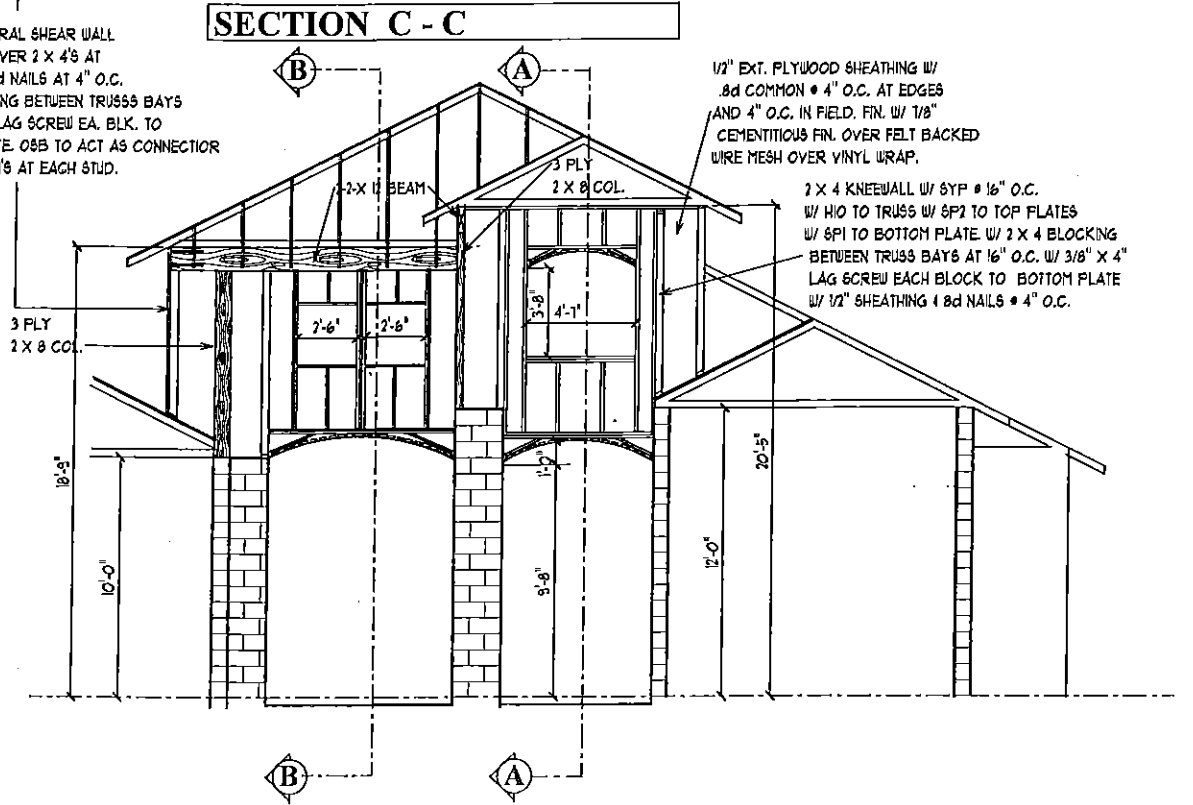
NAILING SCHEDULE :

5P1- 4 -10d TO PLATE
 6- 10 TO STUD
 H10- 8-8d X 1 1/2" TO TRUSS & TOP PLATE
 H2- 5-8d
 METAL6 - 6-16d
 CS16 - 20-10d
 HTS20 - 20 -10d
 MSTAM36 -4- 1/4" X 1 3/4" TAPCONS

NOTE: ALL NON STRUCTURAL LUMBER IS TO BE SOUTHERN PINE FIR U.N.O.



ON STRUCTURAL SHEAR WALL 1/2" OSB OVER 2 X 4'S AT 1" O.C. W/ 8d NAILS AT 4" O.C. X 4 BLOCKING BETWEEN TRUSS BAYS 1/2" X 4" LAG SCREW EA. BLK. TO BOTTOM PLATE OSB TO ACT AS CONNECTOR 1 LIEU OF SP1'S AT EACH STUD.



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Signed
 Paul E. Ingler, P.E. 20158

OCT 03 2013

INVENTORY
 LOT 5 FOXWOOD
 PINELLAS COUNTY

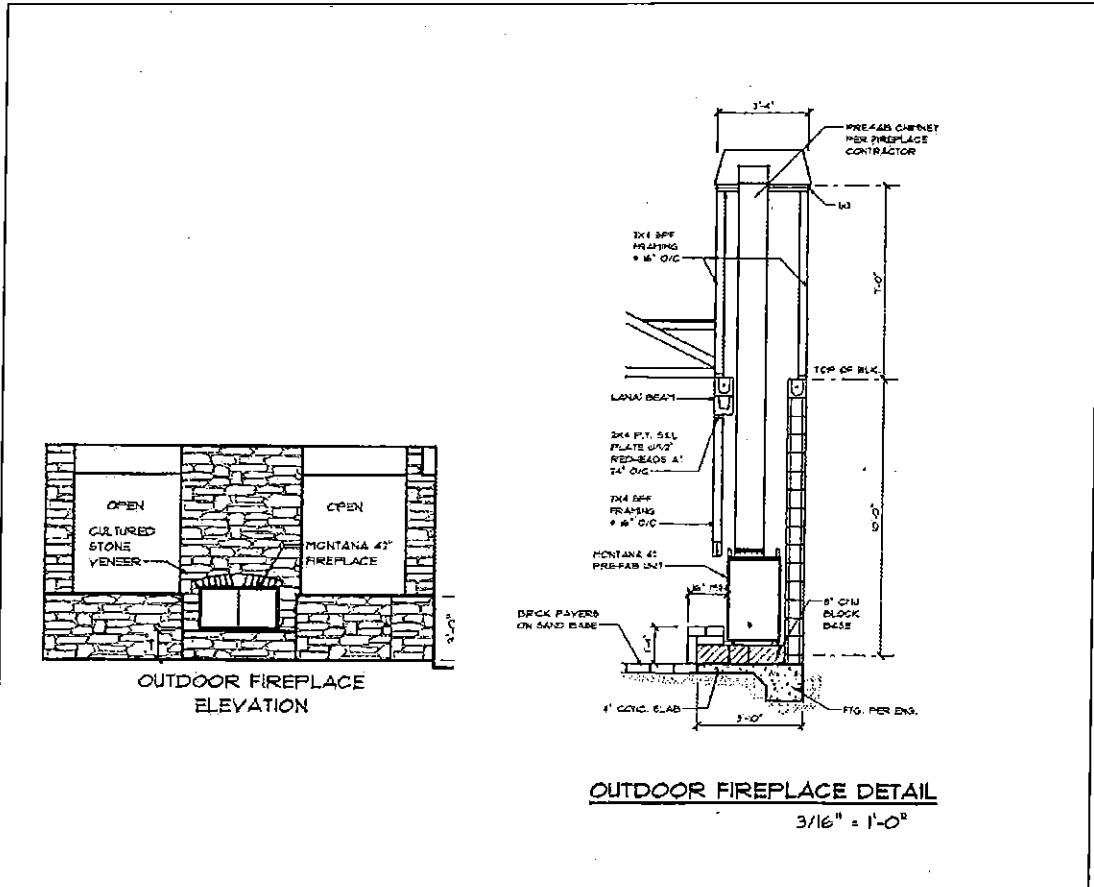
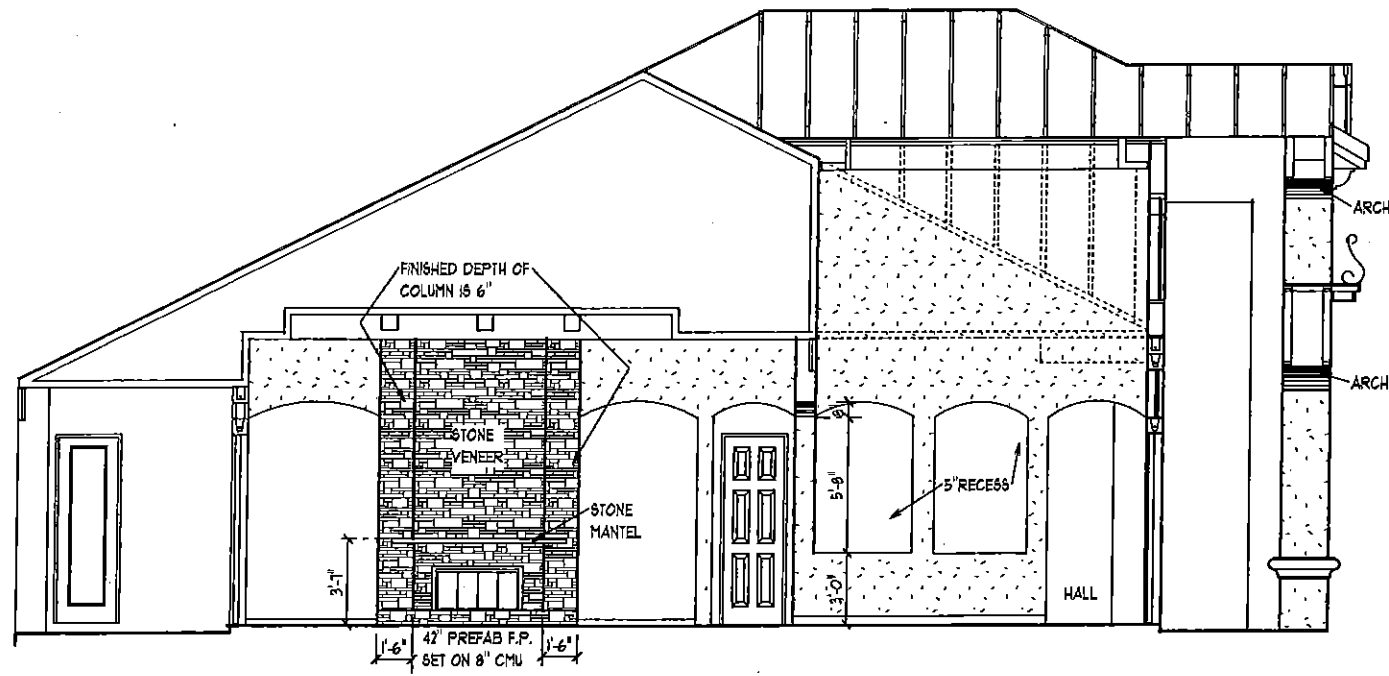
PLAN DATE
9-11-2013
9-18-2013
10-1-2013

SCALE 3/16" = 1'-0"

DEEB FAMILY
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 9400 RIVER CROSSING BLD.
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 727-376-6831

4A

ENTNEY DETAILS



INTERIOR DETAILS

4B

**DEEB FAMILY
HOMES, LTD.**
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

PLAN DATE
9-11-2013
9-18-2013
10-1-2013

**INVENTORY
LOT 5 FOXWOOD
PINELLAS COUNTY**

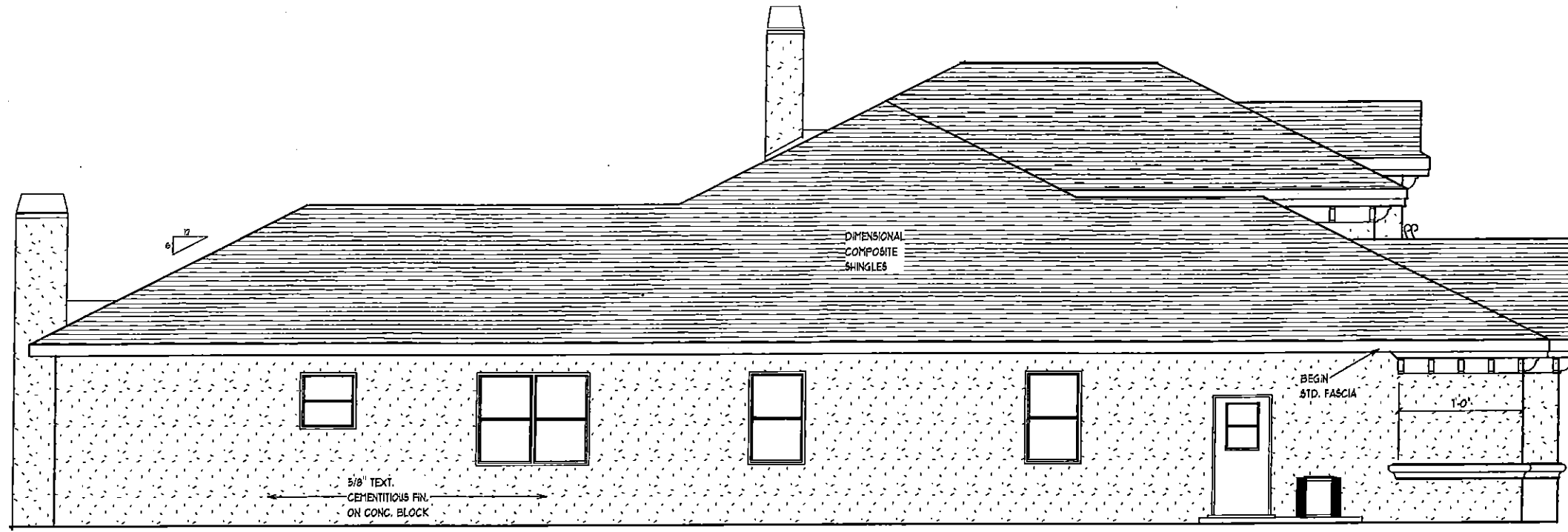
I certify that I have reviewed the structures described on these plans and determined that they have been designed to be in compliance with the structural requirements of the FBC2010. No mechanical, electrical or plumbing components are included in this certification.

Signature: *Paul E. Hagler*
Paul E. Hagler, P.E., 2013

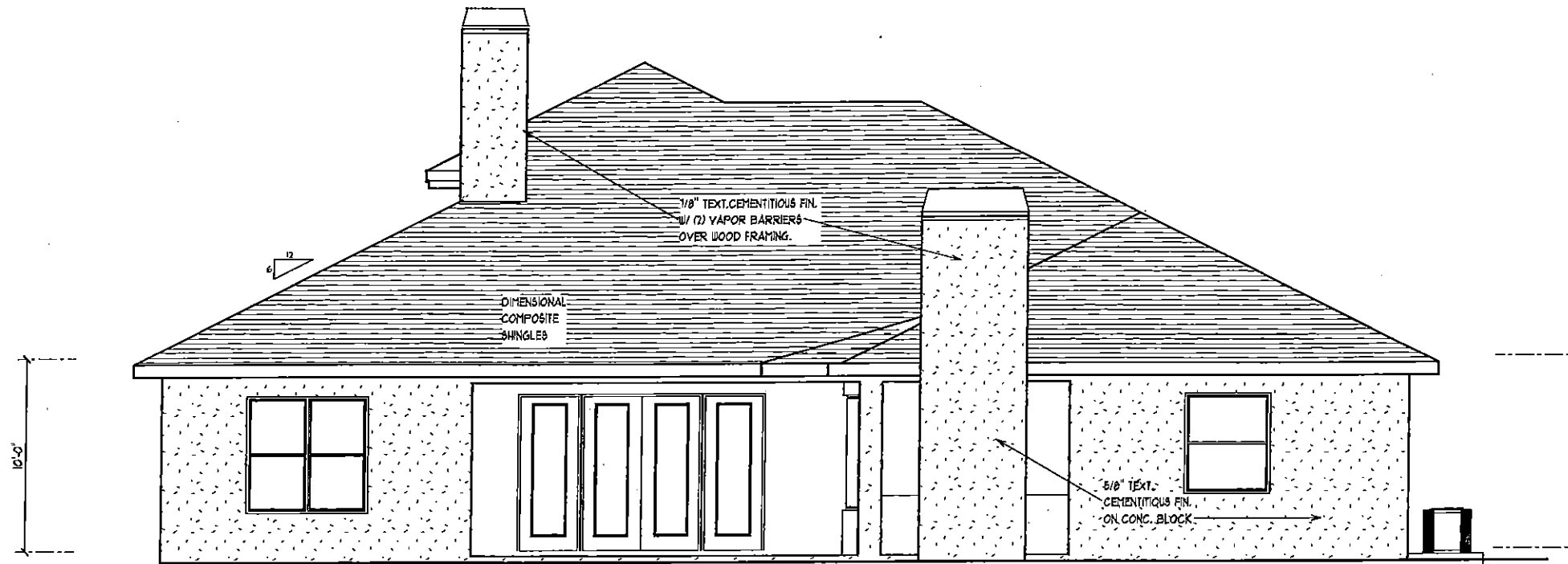
OCT 8 2013

UNIT 3271

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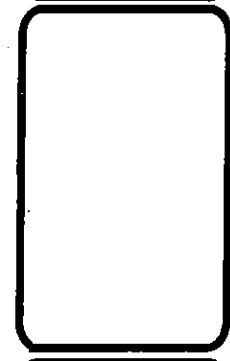
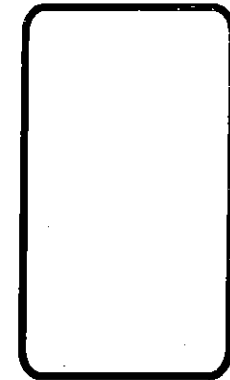
LEFT SIDE ELEVATION



REAR ELEVATION

UNIT 3271

1/8" = 1' 0"



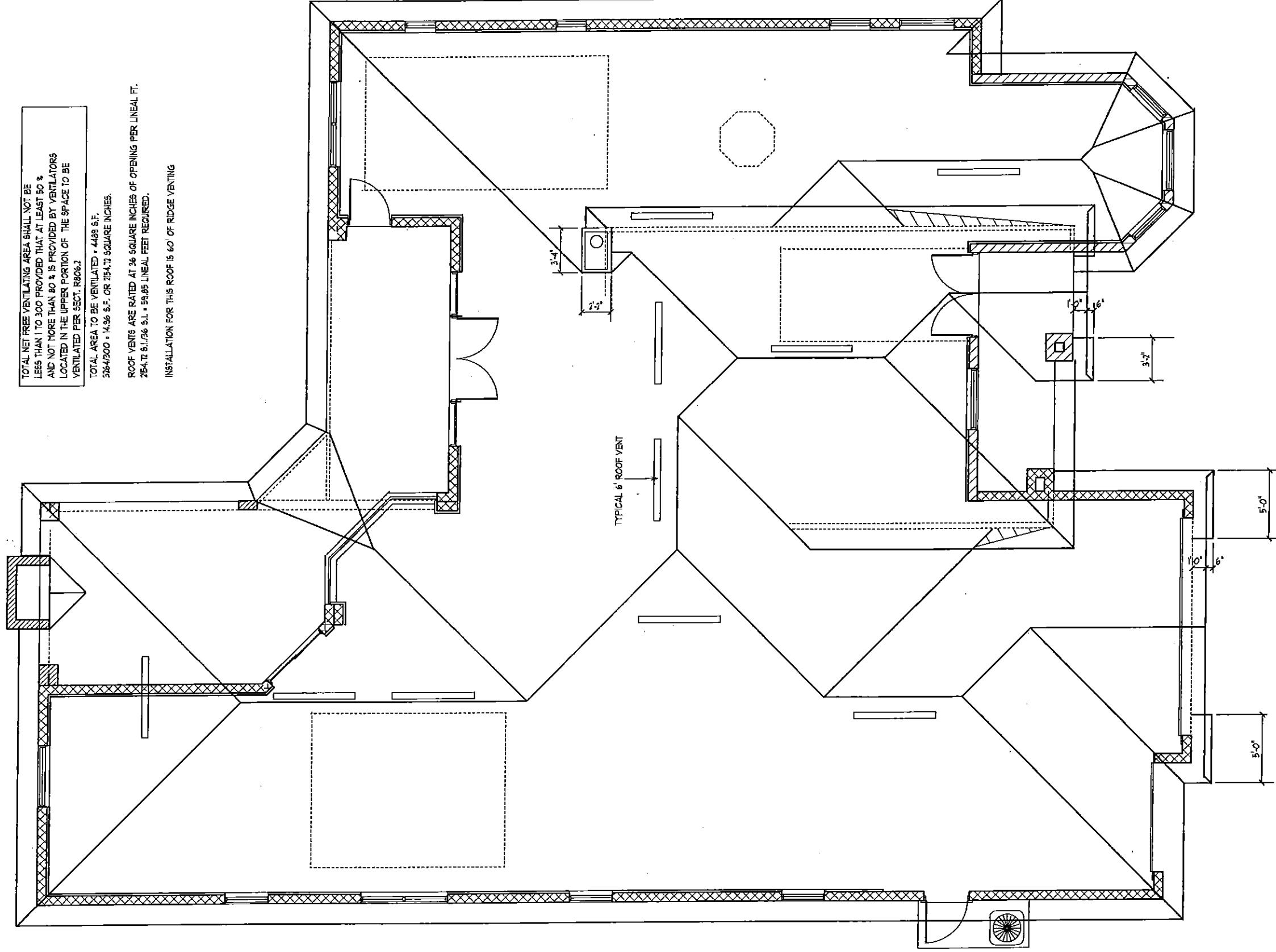
INVENTORY
LOT 5 FOXWOOD
PINELLAS COUNTY

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HOMES, LTD.
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727-376-6831

5

EXTERIOR ELEVATIONS



TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50 % AND NOT MORE THAN 80 % IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED PER SECT. R802.2

TOTAL AREA TO BE VENTILATED = 4488 S.F.
 3084/300 = 14.96 S.F. OR 2154.73 SQUARE INCHES.

ROOF VENTS ARE RATED AT 3/8 SQUARE INCHES OF OPENING PER LINEAL FT.
 2154.73 S.F. / 3/8 S.I. = 59,85 LINEAL FEET REQUIRED.

INSTALLATION FOR THIS ROOF IS 60\"/>

ROOF PLAN SCALE 1/8" = 1'-0"

6

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 727-376-6831

PLAN DATE
9-11-2013
9-18-2013
10-1-2013

INVENTORY
 LOT 5 FOXWOOD
 PINELLAS COUNTY

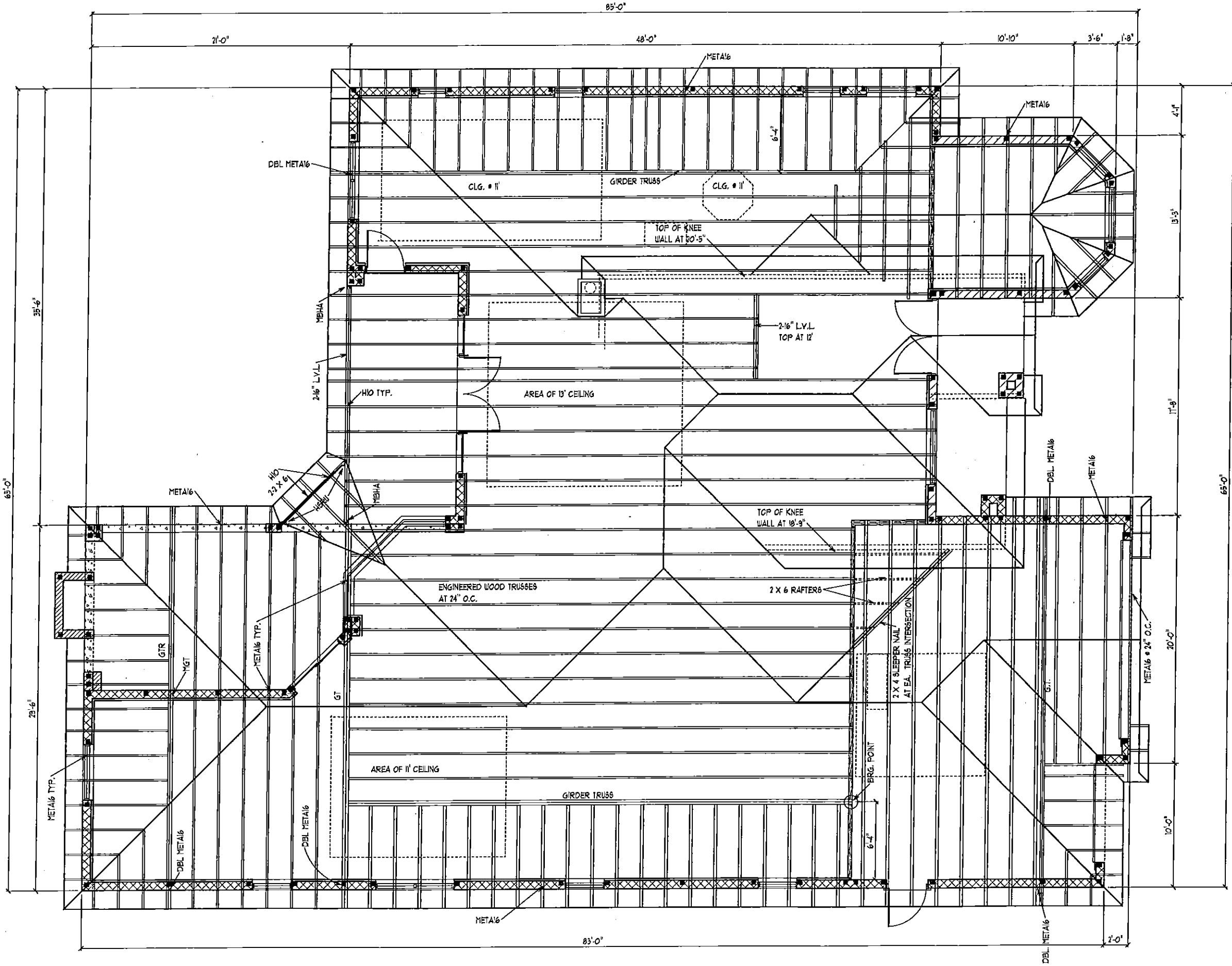
UNIT 3271

IMPORTANT NOTE:

THIS FRAMING PLAN IS DIAGRAMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPARATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

ALL TRUSS TO TRUSS CONNECTORS BY TRUSS SYSTEMS ENGINEER AND TO BE SPECIFIED ON INDIVIDUAL SEALED TRUSS SHEETS

NOTE: INSTALL MOISTURE BARRIER BETWEEN MASONRY & UNTREATED WOOD



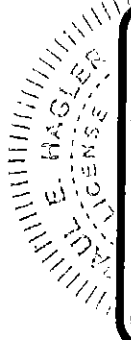
TRUSS PLAN SCALE 1/8" = 1'-0"

6A

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727-376-6831

PLAN DATE
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9-18-2013
10-1-2013

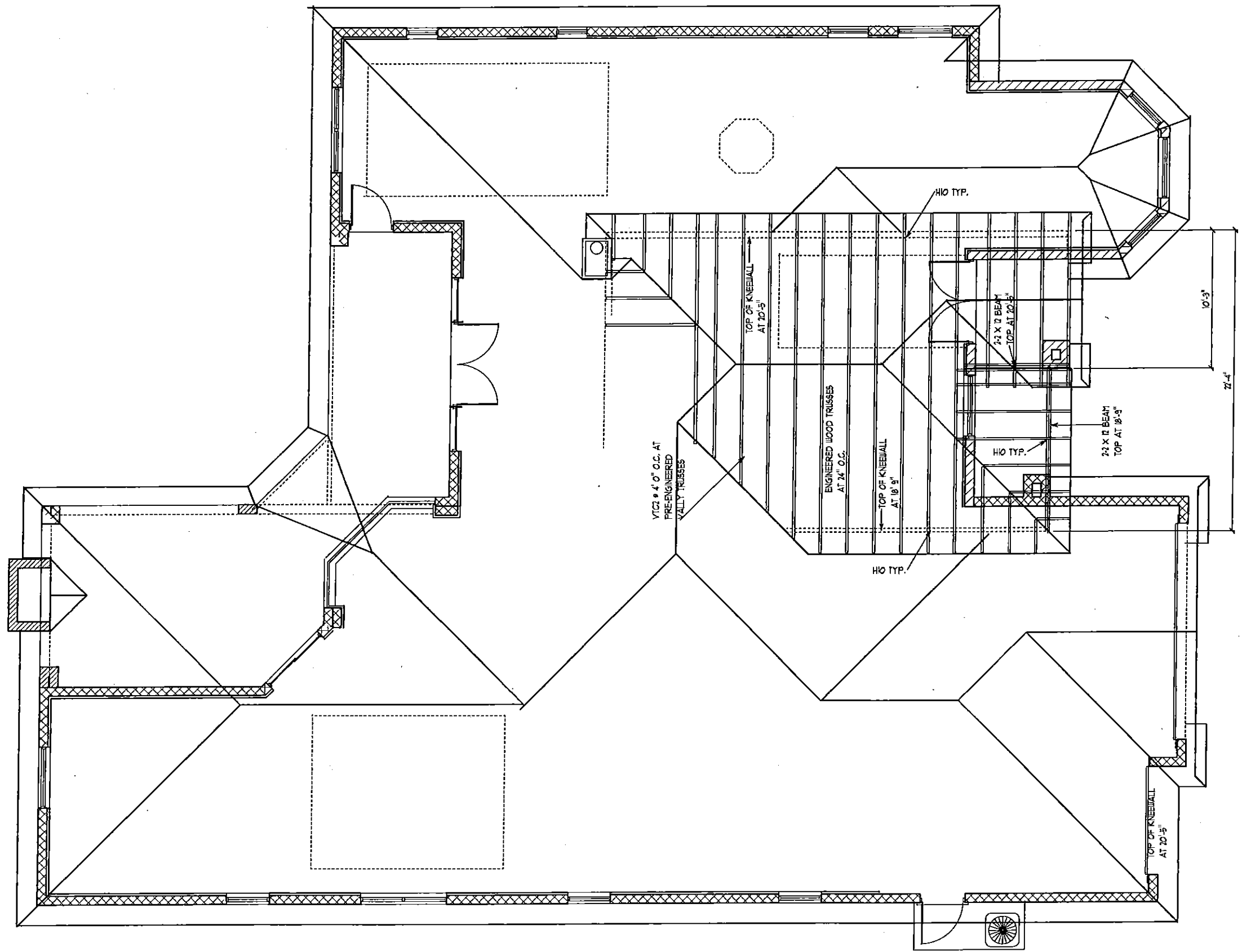
INVENTORY
LOT 5 FOXWOOD
PINELLAS COUNTY



I certify that I have reviewed the structures described on these plans and determined that they have been designed to be in compliance with the structural requirements of the FBC/ASCE. No mechanical, electrical or plumbing components are included in this certification.
Signed
Paul E. Hagler, P.E. 2013

OCT 03 2013

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ENTRY TRUSS PLAN

SCALE 1/8" = 1' 0"

6B

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 NEW PORT RICHEY, FL. 34655
 727-376-6831

PLAN DATE
9-11-2013
9-18-2013
10-1-2013

INVENTORY LOT 5 FOXWOOD PINELLAS COUNTY

I certify that I have reviewed the structures described on these plans and determined that they have been designed to be in compliance with the structural requirements of the FBC2010. No mechanical, electrical or plumbing components are included in this certification.

Signed: *[Signature]*
 Paul E. Engler, P.E. 20158

UNIT 3271

SCIENTISTS AND ENGINEERS
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 Dunedin, FL 34698
 727-738-9025

OCT 10 3 2013

UNLESS OTHERWISE NOTED

1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE (B' AFF. (GENERAL))

KITCHEN 42" HORIZONTAL
 BATHROOM 42" HORIZONTAL
 LAUNDRY 36" WASHER/ 24" DRYER/ WALL OUTLETS 45"
 EXTERIOR WATERPROOF • 1"
 GARAGE GFI • 45"
 RANGE 20V • 4"

2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE

3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

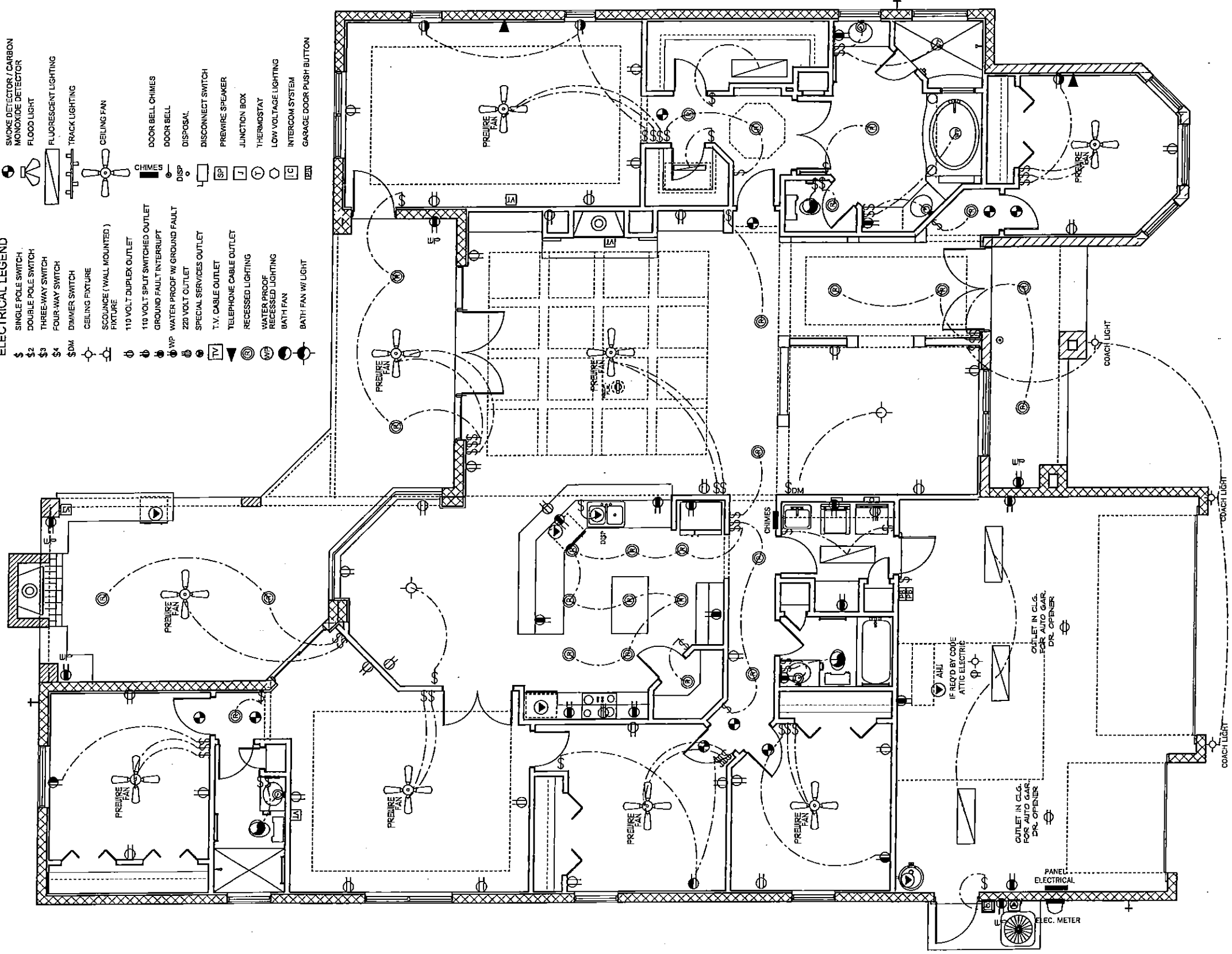
4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.

5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE SECTION 907.2

6. PROVIDE AFCI / ARC FAULT INTERRUPTERS / IN ALL BEDROOMS PER NEC, SECTION 210-12

7. ALL RECEPTICALS TO BE TAMPER PROOF PER SECT. 406.11

- ELECTRICAL LEGEND**
- \$ SINGLE POLE SWITCH
 - \$2 DOUBLE POLE SWITCH
 - \$3 THREE-WAY SWITCH
 - \$4 FOUR-WAY SWITCH
 - \$DM DIMMER SWITCH
 - CEILING FIXTURE
 - SCOUNCE (WALL MOUNTED) FIXTURE
 - ⊕ 110 VOLT DUPLICATION OUTLET
 - ⊕ 110 VOLT SPLIT SWITCHED OUTLET
 - ⊕ GROUND FAULT INTERRUPT
 - ⊕ WP WATER PROOF W/ GROUND FAULT
 - ⊕ 220 VOLT OUTLET
 - TV SPECIAL SERVICES OUTLET
 - TV T.V. CABLE OUTLET
 - ⊕ TELEPHONE CABLE OUTLET
 - ⊕ RECESSED LIGHTING
 - ⊕ WATER PROOF RECESSED LIGHTING
 - ⊕ BATH FAN
 - ⊕ BATH FAN W/ LIGHT
 - ⊕ SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
 - ⊕ FLOOD LIGHT
 - ⊕ FLUORESCENT LIGHTING
 - ⊕ TRACK LIGHTING
 - ⊕ CEILING FAN
 - CHIMES
 - ⊕ DOOR BELL CHIMES
 - ⊕ DOOR BELL
 - DISP DISPOSAL
 - DISCONNECT SWITCH
 - SP PREMIRE SPEAKER
 - J JUNCTION BOX
 - T THERMOSTAT
 - ⊕ LOW VOLTAGE LIGHTING
 - ⊕ INTERCOM SYSTEM
 - ⊕ GARAGE DOOR PUSH BUTTON



ELECTRICAL PLAN

SCALE 1/8" = 1' 0"

UNIT 3271

7

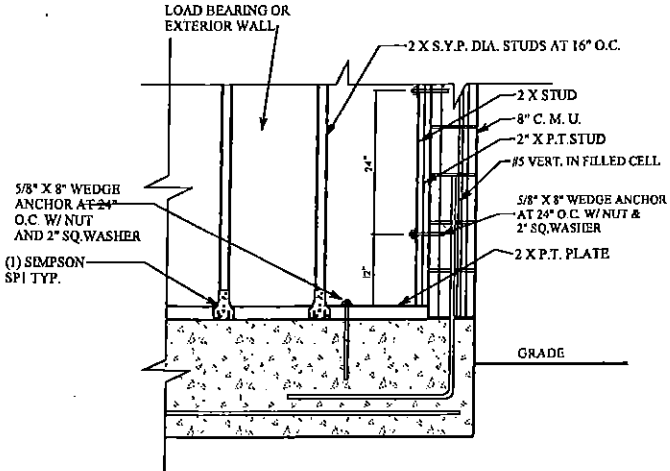
DEEB FAMILY HOMES, LTD.
 9400 RIVER CROSSING BLD.
 NEW PORT RICHEY, FL. 34655
 727-376-6831

PLAN DATE
9-11-2013
9-18-2013
10-1-2013

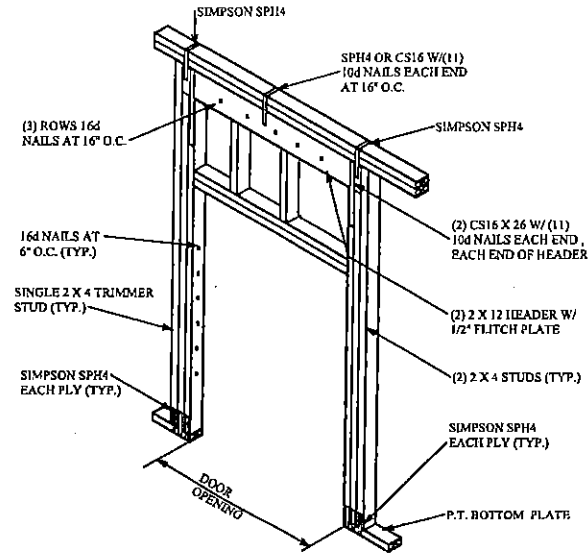
INVENTORY
 LOT 5 FOXWOOD
 PINELLAS COUNTY

Blank space for additional notes or signatures.

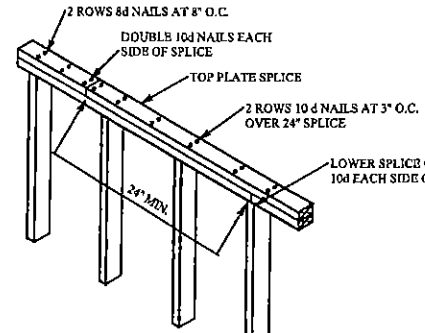
NOTE:
INSTALL WEDGE ANCHORS WITHIN 12" OF TOP AND BTM. PLATE
AND 24" O.C. BETWEEN END ANCHORS.



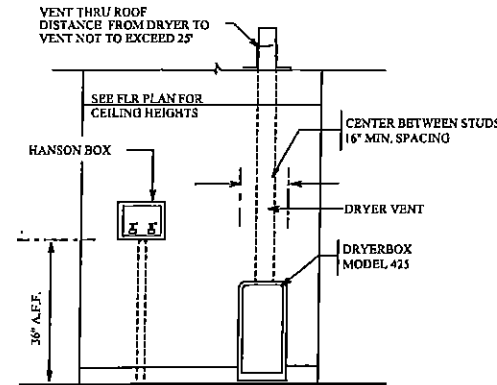
WOOD STUD CONNECTION TO MASONRY WALL



TYPICAL LOAD BEARING HEADER DETAIL

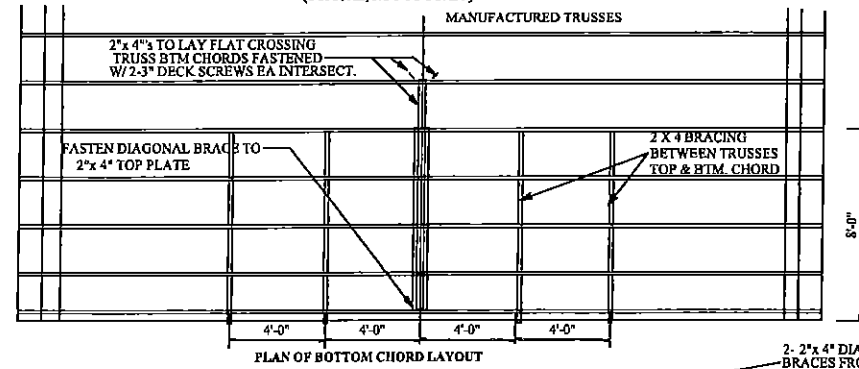


TOP PLATE SPLICE DETAIL

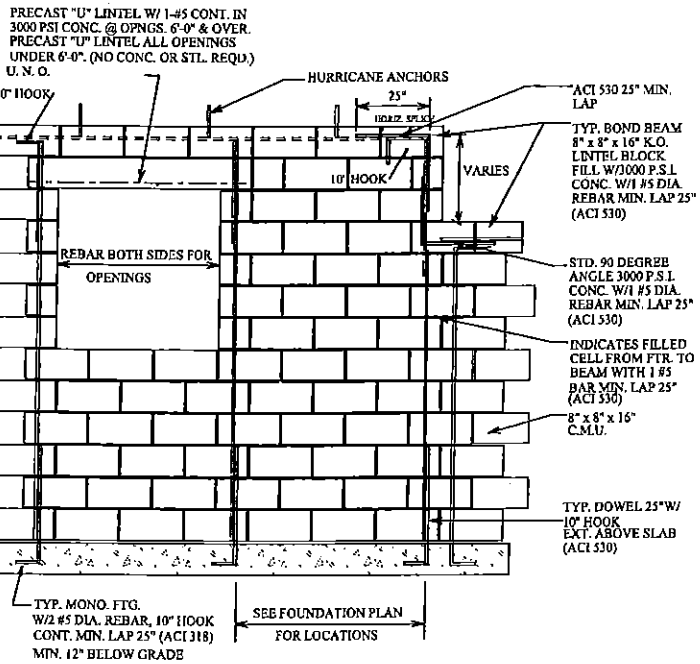
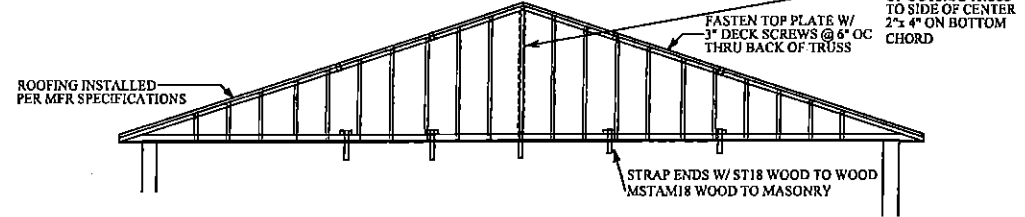


TYPICAL LAUNDRY PLUM. WALL

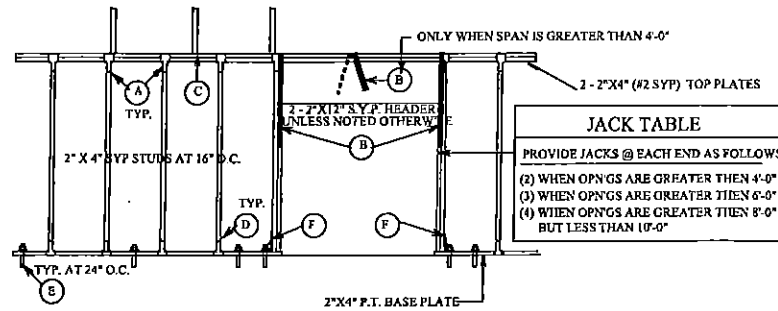
GABLE END REINFORCEMENT (TYPICAL, NOT TO SCALE)



PLAN OF BOTTOM CHORD LAYOUT



BLOCK WALL/REINFORCEMENT

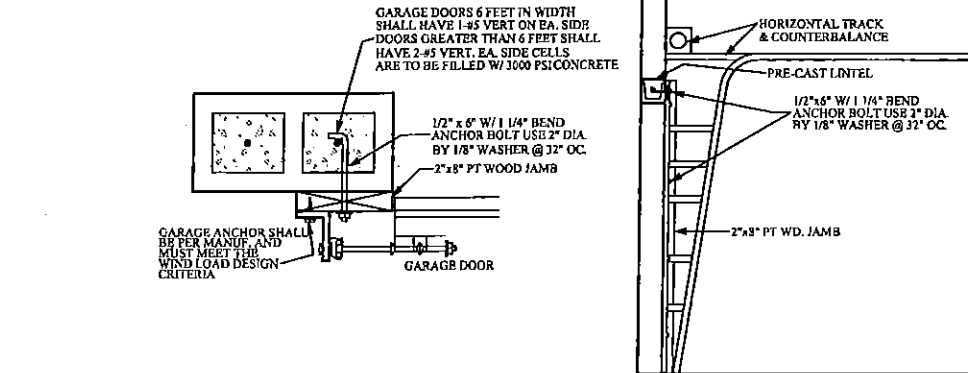


TYPICAL 1 ST. INT. BEARING WALL U.N.O.

UPLIFT CAPACITY PER 24" = 1350#
(WITH ROOF LOAD APPLIED) NO SCALE

CONNECTOR LEGEND

(A)	SIMPSON SP2 W/ 6-10d x 1/2
(B)	(4) SIMPSON LSTA24 W/ 18-10d
(C)	#10 FROM TRUSS TO TOP PLATE
(D)	SIMPSON SP1 W/ 6-10d x 1/2
(E)	5/8" x 8" ANCHOR BOLT W/ 2" WASHER AT 24" O.C.
(F)	SIMPSON LTT20B W/ 10-16d AND 5/8" ROD HEAD MIN 6" EMBEDMENT (ONLY APPLIES WHEN THERE IS UPLIFT AND ROOF LOAD APPLIED)



GARAGE DOOR CONNECTION DETAIL

UNIT 3271

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Dunedin, FL 34698
727-738-9025

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Paul E. Eagle, P.E. 20158
FLORIDA REGISTERED PROFESSIONAL ENGINEER

INVENTORY
LOT 5 FOXWOOD
PINELLAS COUNTY

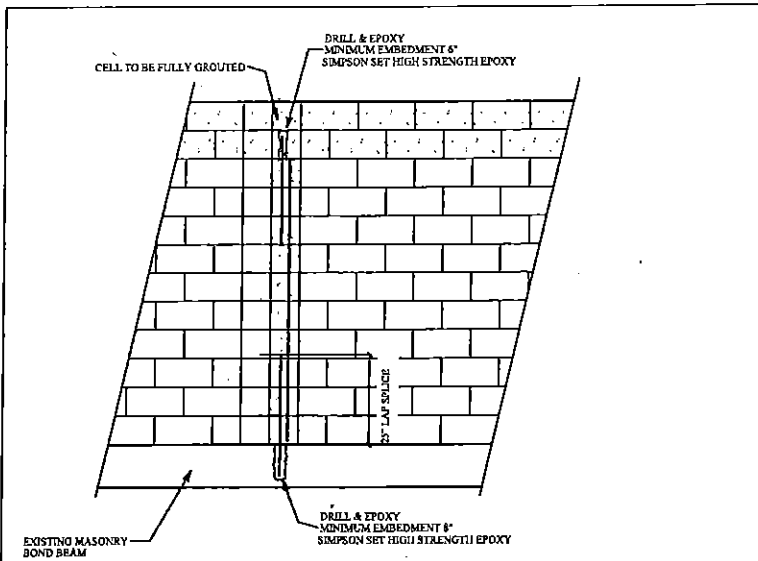
PLAN DATE

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9-18-2013
10-1-2013

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
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727-376-6831

8

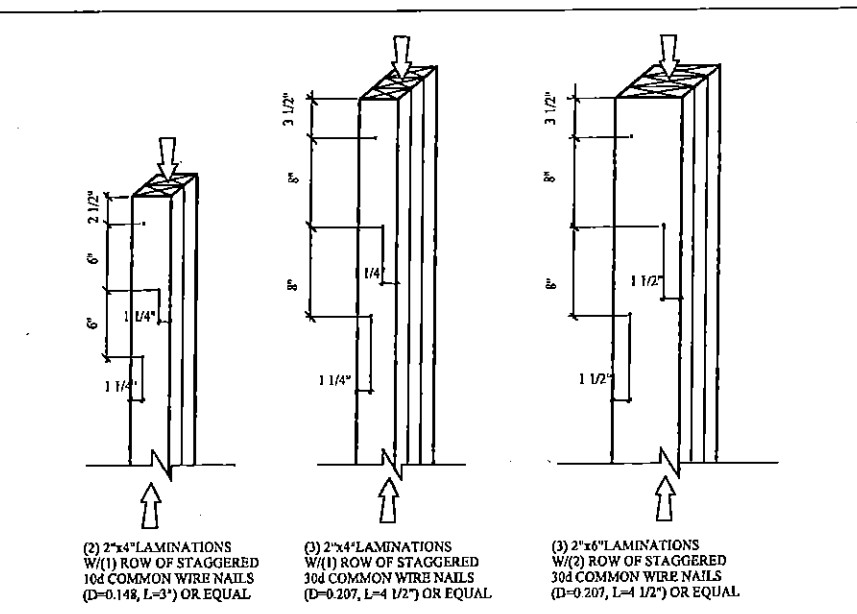
CONSTRUCTION DETAILS



TYP. RETROFIT VERT. DOWEL CONDITION

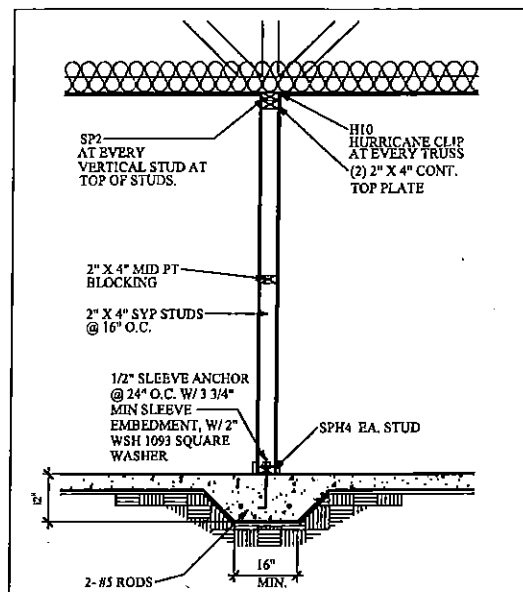
NOTE:
MISSING DOWELS: WHERE FOOTING DOWELS ARE PLACED INCORRECTLY OR MISTAKENLY ELIMINATED, REPLACE DOWEL AT PROPER LOCATION W/ GRADE 40 #3 BAR. INSTALL IN SLAB W/ 8" MINIMUM EMBEDMENT, USE EPOXY GROUT.

MISSING ANCHOR BOLTS AT BEARING WALL:
EXTERIOR BEARING WALL:
IN ADDITION TO THE GENERAL PLACEMENT REQUIREMENTS:
1.) 5/8" DIAMETER x 6" EMBEDMENT SIMPSON TITEN HD ANCHORS SPACED A MAXIMUM OF 24" O.C.
INTERIOR BEARING WALL:
IN ADDITION TO THE GENERAL PLACEMENT REQUIREMENTS:
1.) 5/8" DIAMETER x 6" EMBEDMENT SIMPSON TITEN HD ANCHORS SPACED A MAXIMUM OF 24" O.C. IF RESISTING UPLIFT LOADS OR 1/2" EMBEDMENT AT 48" O.C. IF RESISTING GRAVITY LOADS

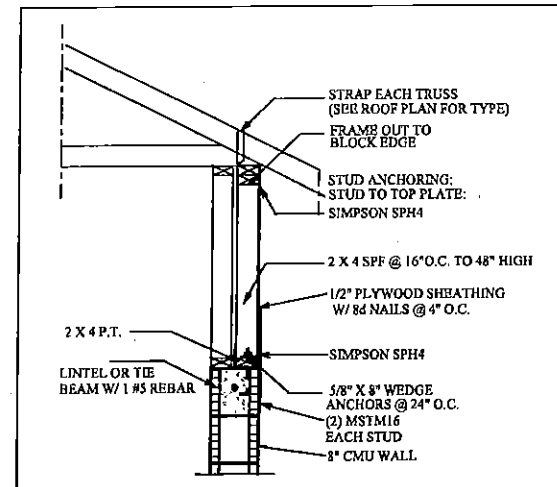


NOTES:
1) ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN
2) ALL NAILS PENETRATE AT LEAST 3/4 OF THE THICKNESS OF THE LAST LAMINATION
3) EACH 304 COMMON NAIL MAY BE REPLACED W/ (2) 164 COMMON NAILS. (ONE INTO EACH OUTSIDE FACE OF B.U.C. SAME NUMBER OF ROES, SAME SPACING)
4) FOR 4-PLY, PROVIDE 1/4" DIA. X 5 1/2" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)
5) FOR 5-PLY, PROVIDE 1/4" DIA. X 7" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)
6) REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFORMATION

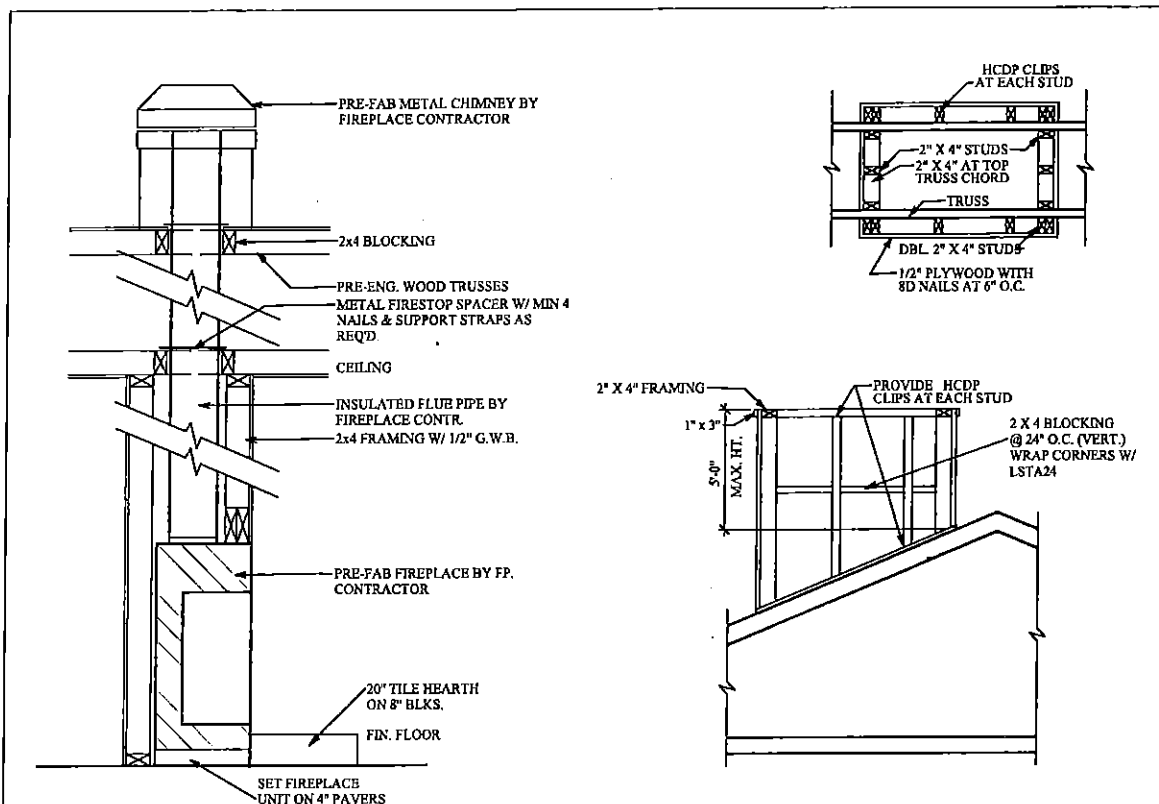
TYP. NAILING SCHEDULE FOR BUILT-UP COLUMNS



BEARING PARTITION



KNEEWALL N.T.S.



SECTION - FIREPLACE

DETAIL - CHIMNEY

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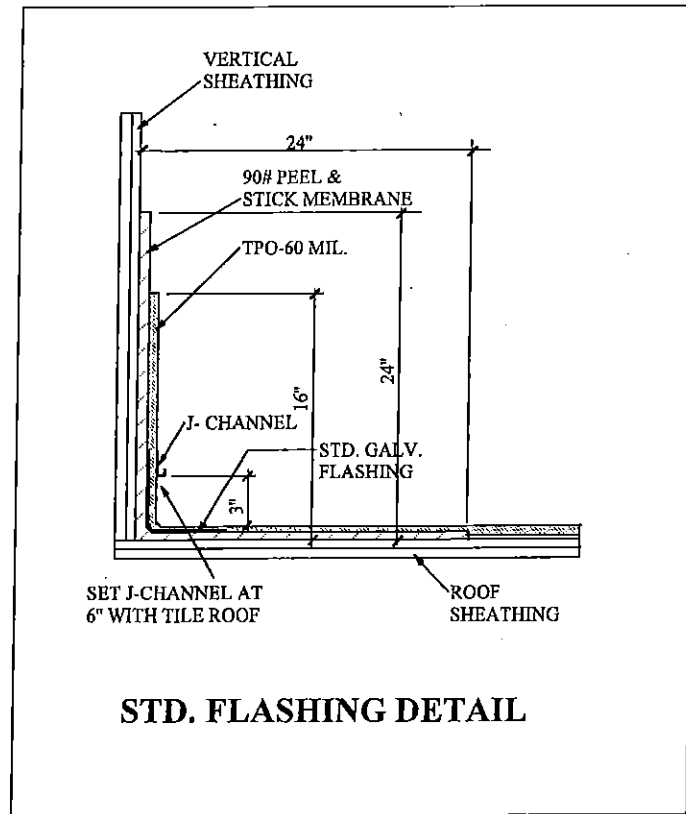
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Signed: Paul E. Eagler, P.E. 2013

INVENTORY
LOT 5 FOXWOOD
PINELLAS COUNTY

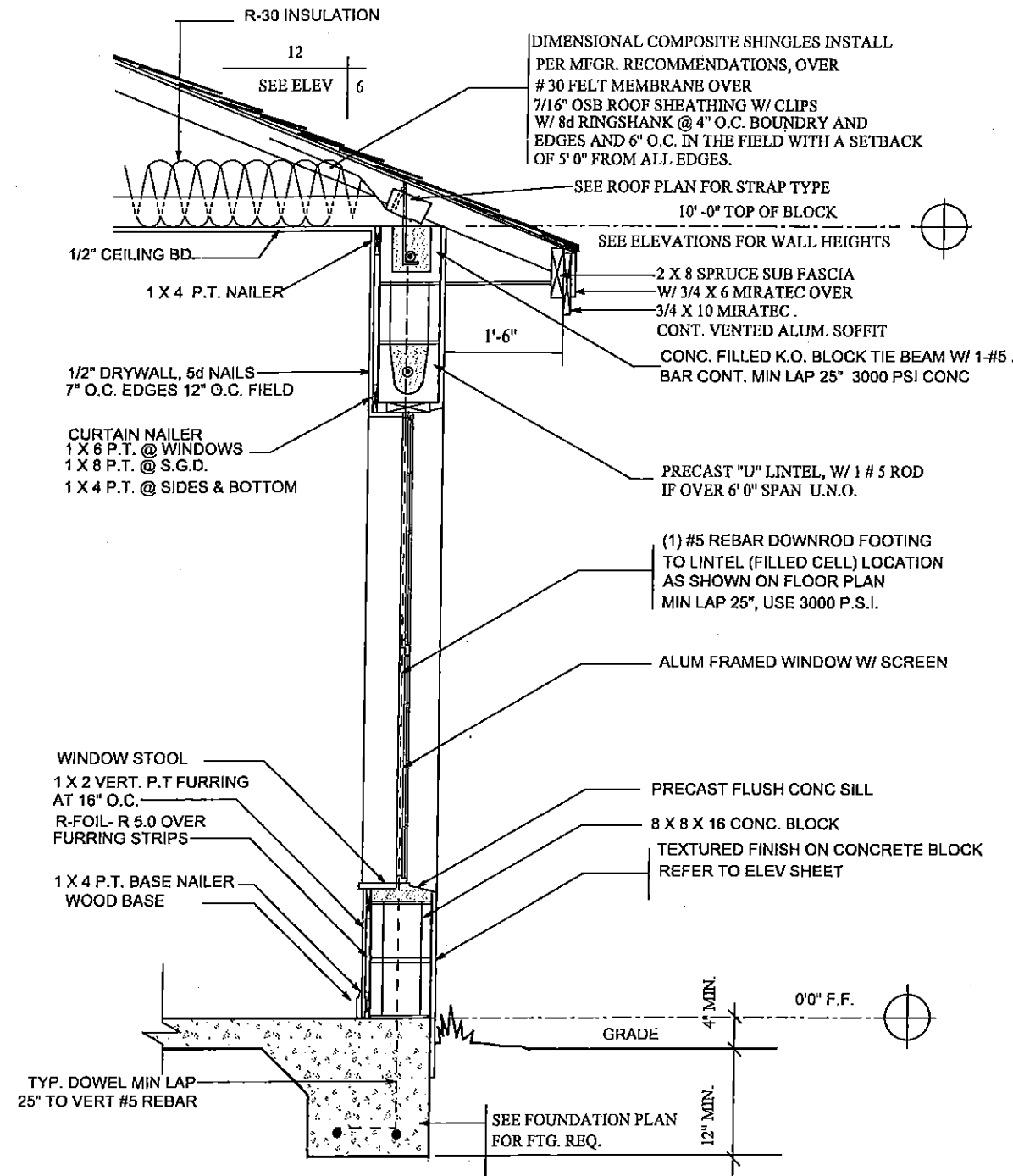
PLAN DATE
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10-1-2013

CONSTRUCTION DETAILS
DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

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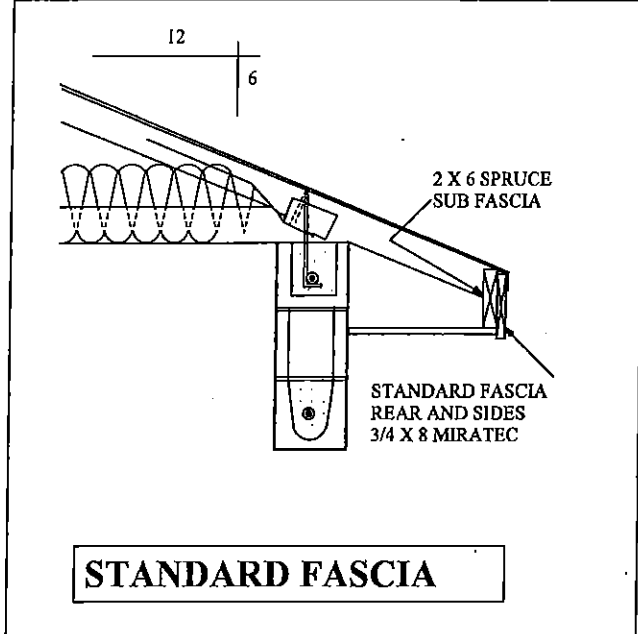


STD. FLASHING DETAIL

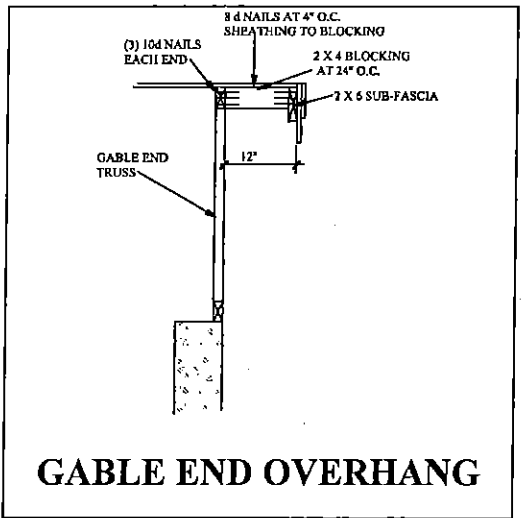


TYPICAL WALL SECTION

TERMITE SPECIFICATIONS:
 INSTALL "BORA-CARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS



STANDARD FASCIA



GABLE END OVERHANG

CONNECTOR TABLE

SIMPSON	FLORIDA PRODUCT NUMBERS PER INDEX 2-25-2011
MBHA3.56/11.88	10866.12
H2	10456.10
H6	10456.18
H10	10456.6
LGT2	11470.6
MGT	11470.7
LSTA18	10852.4
LSTA24	10852.4
SP1	10456.41
SP2	10456.42
HTS20	10456.23
HTS18	10456.22
META16	11473.17
L30	10448.11
MSTAM24	11473.19
MSTAM36	11473.19
MSTCM60	11473.19
CS16	10852.1
SPH4	10456.46
SPH6	10456.47
HTT4	11496.2
HIT5	11496.2
ABU68	10849.6

CONSTRUCTION DETAILS

DEEB FAMILY HOMES, LTD.
 9400 RIVER CROSSING BLD.
 NEW PORT RICHEY, FL. 34655
 727-376-6831

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UNIT 3271

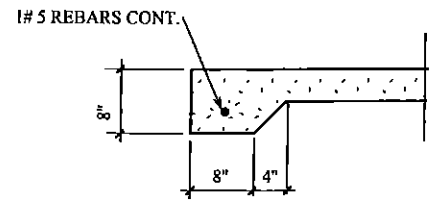
SCIENTISTS AND ENGINEERS
 1280 Heather Ridge Boulevard
 Dunedin, FL 34698
 727-738-9075

I certify that I have reviewed the structure described on these plans and determined that they have been designed to be in compliance with the structural requirements of the FBC2010. No mechanical, electrical or plumbing components are included in this certification.
 Signed: _____
 Paul E. Engler, P.E. 2013

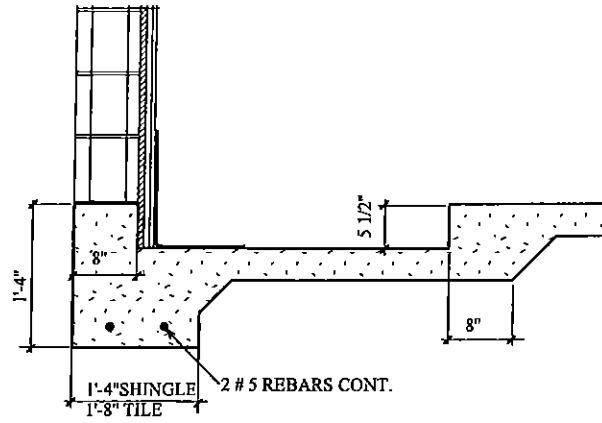
INVENTORY LOT 5 FOXWOOD PINELLAS COUNTY

PLAN DATE
9-11-2013
9-18-2013
10-1-2013

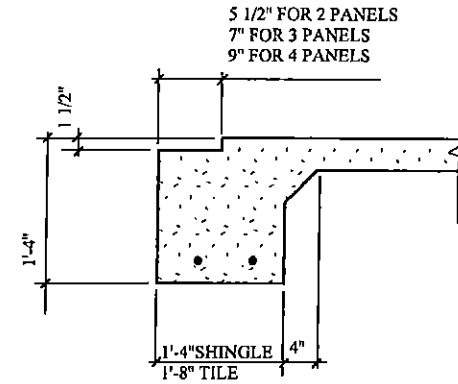
ISSUED OCT 03 2013



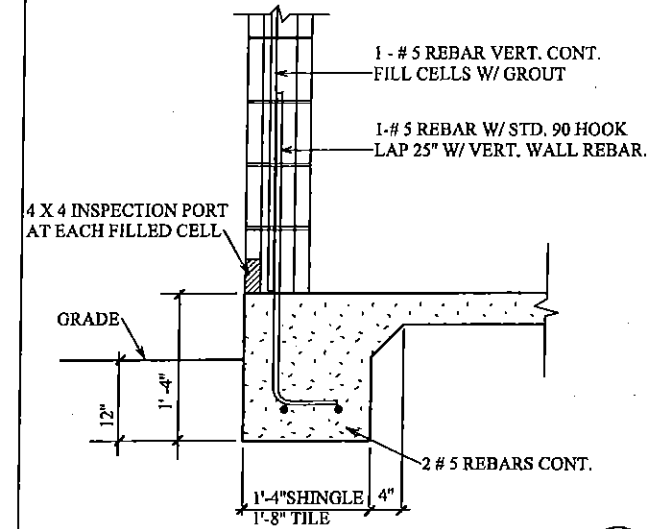
8" THICKENED SLAB (J)



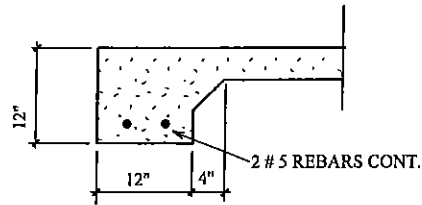
SHOWER RECESS (G)



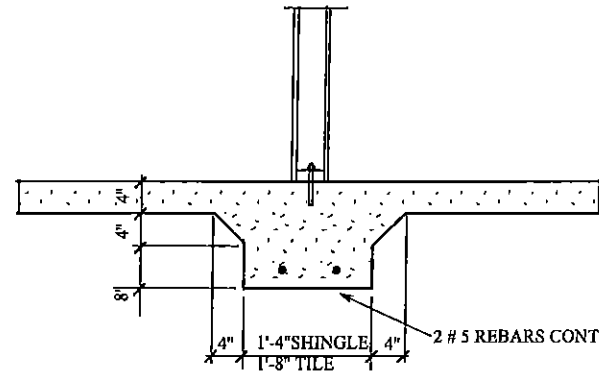
SLIDING GLASS DR. RECESS (D)



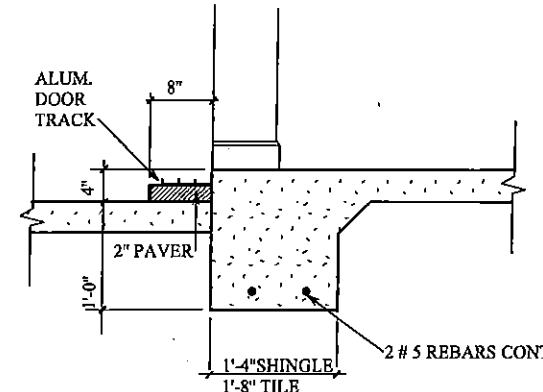
TYPICAL ONE STORY (A)



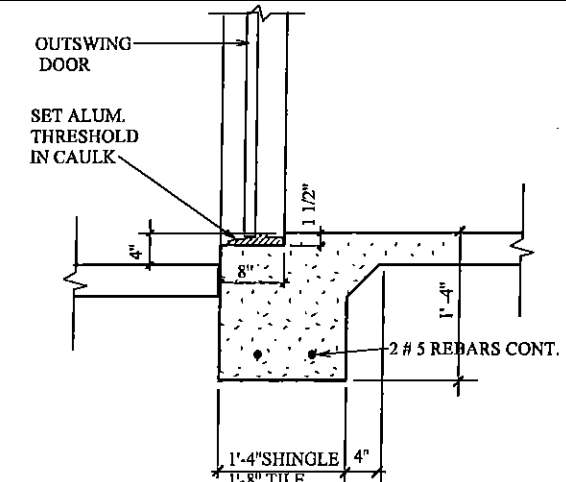
12" THICKENED SLAB (K)



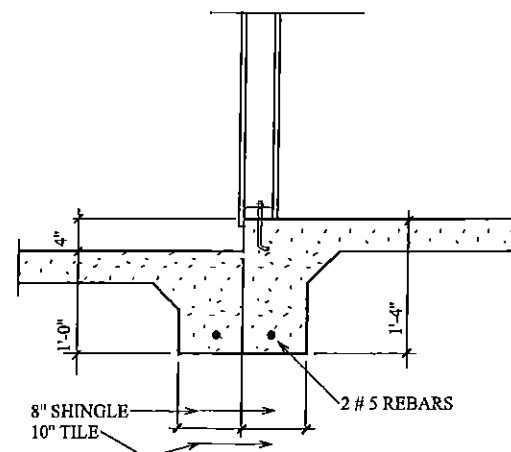
INTERIOR BEARING FTG. (H)



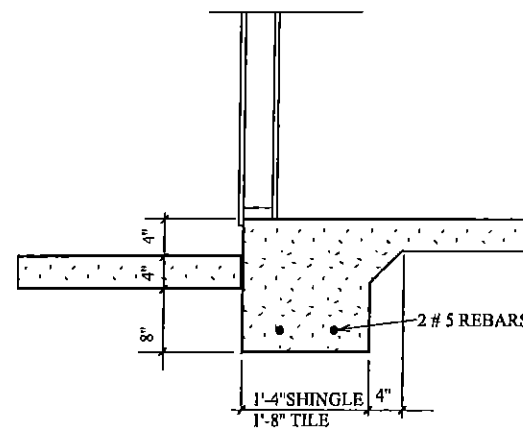
EXTERIOR POCKET S.G.D. (E)



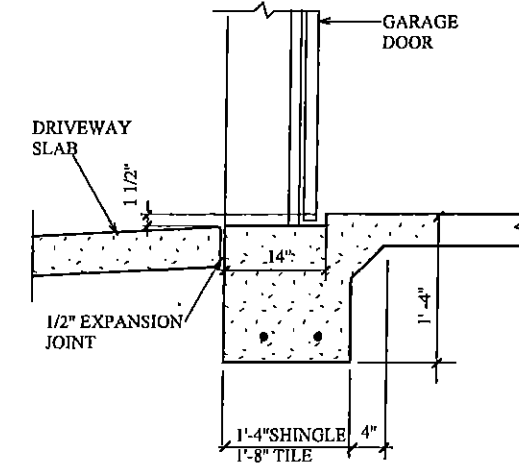
EXTERIOR DOOR RECESS (B)



BEARING GARAGE STEP (I)



NON-BRG. GARAGE STEP (F)



GARAGE DOOR RECESS (C)

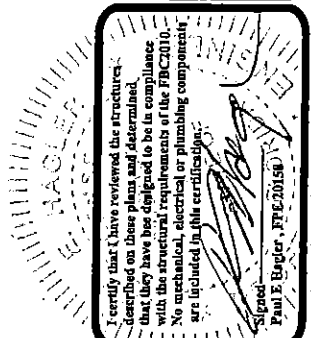
FOOTING DETAILS

DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

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PLAN DATE
9-11-2013
9-18-2013
10-1-2013

INVENTORY LOT 5 FOXWOOD PINELLAS COUNTY



I certify that I have reviewed the structures described on these plans and determined that they have been designed to be in compliance with the structural requirements of the FBC 2010. No mechanical, electrical or plumbing components are included in this certification.

00103 2013

UNIT 3271

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Dunedin, FL 34698
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